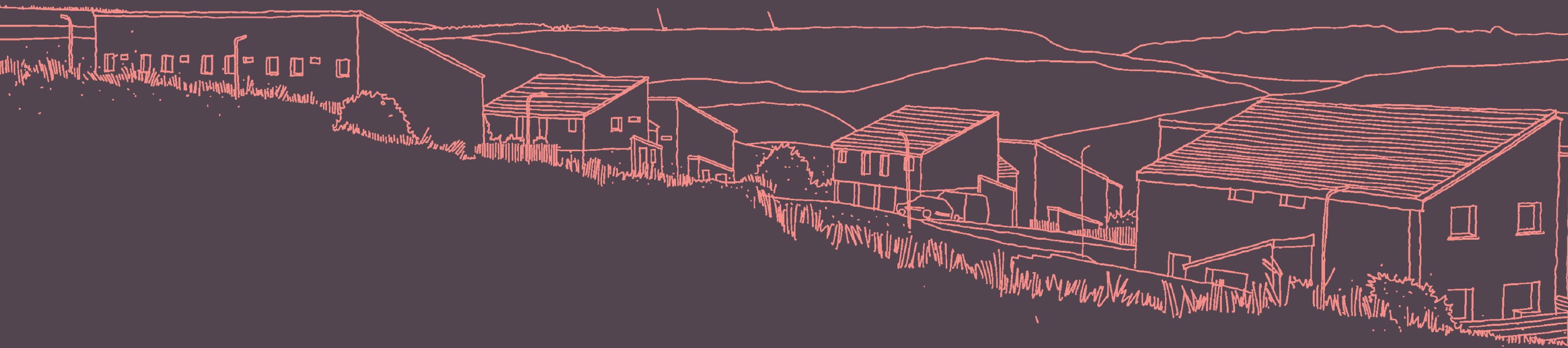


Trivallis.

STRIDE TREGLOWN



## Penrhys Regeneration

Design and Access Statement | September 2025

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PROJECT TEAM:

**Trivallis.**

**STRIDE TREGLOWN**

**theurbanists**

 **Stantec**

 **SLR**

 **RPA**



# 1 Introduction

## 1.1 Introduction

### Application Overview

This Design & Access Statement has been prepared by Stride Treglown to accompany a planning application for the partial redevelopment of the Penrhys estate site in Penrhys, Rhondda Cynon Taf. It should be noted that a wholesale redevelopment is being proposed, further details of which will be made in due course via a separate application; this application pertains to Phase 1A only.

The following page presents the current assumed timeline of the redevelopment for the entire Penrhys site, and how Phase 1A fits within the proposed timeline.

#### The application is summarised as follows:

This full application, submitted on behalf of Trivallis, proposes the residential development of 121 homes alongside associated highways, drainage, green infrastructure, and related works. The proposals also include the demolition of existing buildings and associated infrastructure.

#### Supporting Information

This Design & Access Statement is to be read in conjunction with the submitted architectural and landscape plans and other reports which are listed in the planning statement.

#### Design and Access Statement Aims and Objectives

This Design and Access Statement presents the background to the proposals and summarises the extensive design process and contextual considerations that have informed the proposals.

The design approach set out within this document seeks to establish how a strong sense of character and place will be achieved while delivering positive contributions to both community and nature.

The document draws on a range of environmental and technical studies covering highways and transportation, ecology, arboriculture, landscape, flood risk and drainage, geology, and ground conditions.

#### The Team

The application will be submitted on behalf of Trivallis Ltd, who are working to bring forward a comprehensive redevelopment of the Penrhys estate.

Consultant team listed below:

Planning Consultant - The Urbanists

Architect - Stride Treglown

Masterplanning – The Urbanists

Landscape – The Urbanists

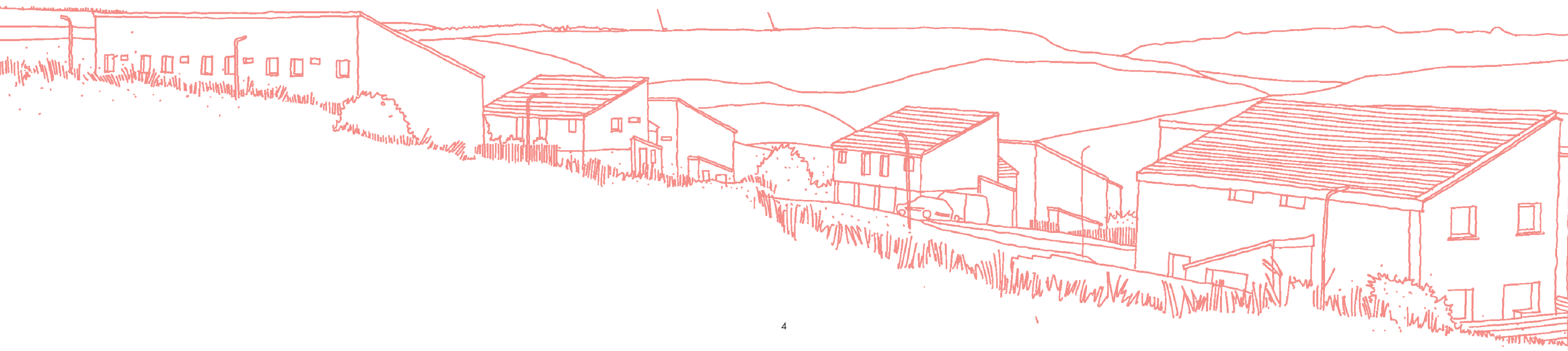
Ecology – SLR

Highways – SLR

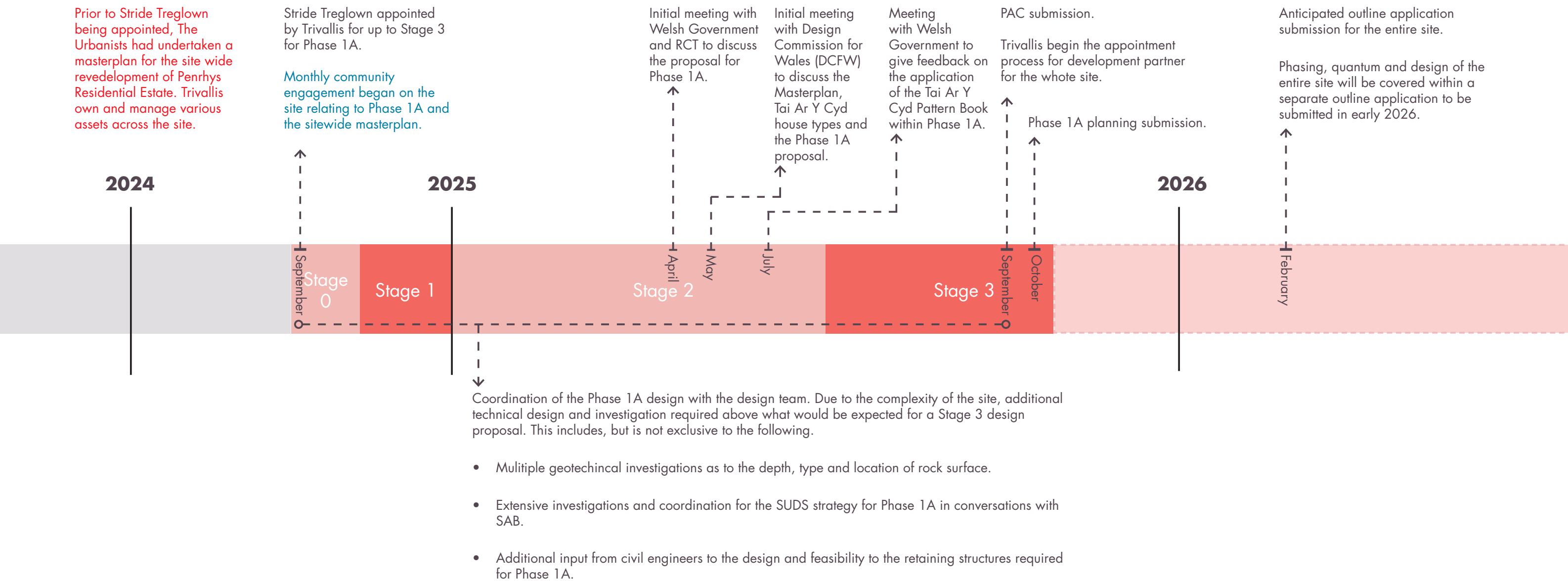
Cost Consultancy - RPA

Civils & Structural - Stantec

Energy & Sustainability – Hoare Lea



## 1.2 Introduction Project Timeline





## 1.3 Introduction

### Client Brief

Trivallis appointed Stride Treglown in September 2024 to design the Phase 1A parcel of land forming part of the masterplan regeneration of Penrhys Residential Estate.

The layout and housing typologies are to be based on the types developed in the Tai Ar Y Cyd Pattern Book (refer to chapter 5). The site's topography is challenging therefore it was accepted that alterations to standard Tai Ar Y Cyd house types would need to be considered to create a feasible and cohesive development.

The principles of the masterplan had already been established by The Urbanists for the entire site, of which Phase 1A would consider.



Figure 1 - View of the existing estate looking South.



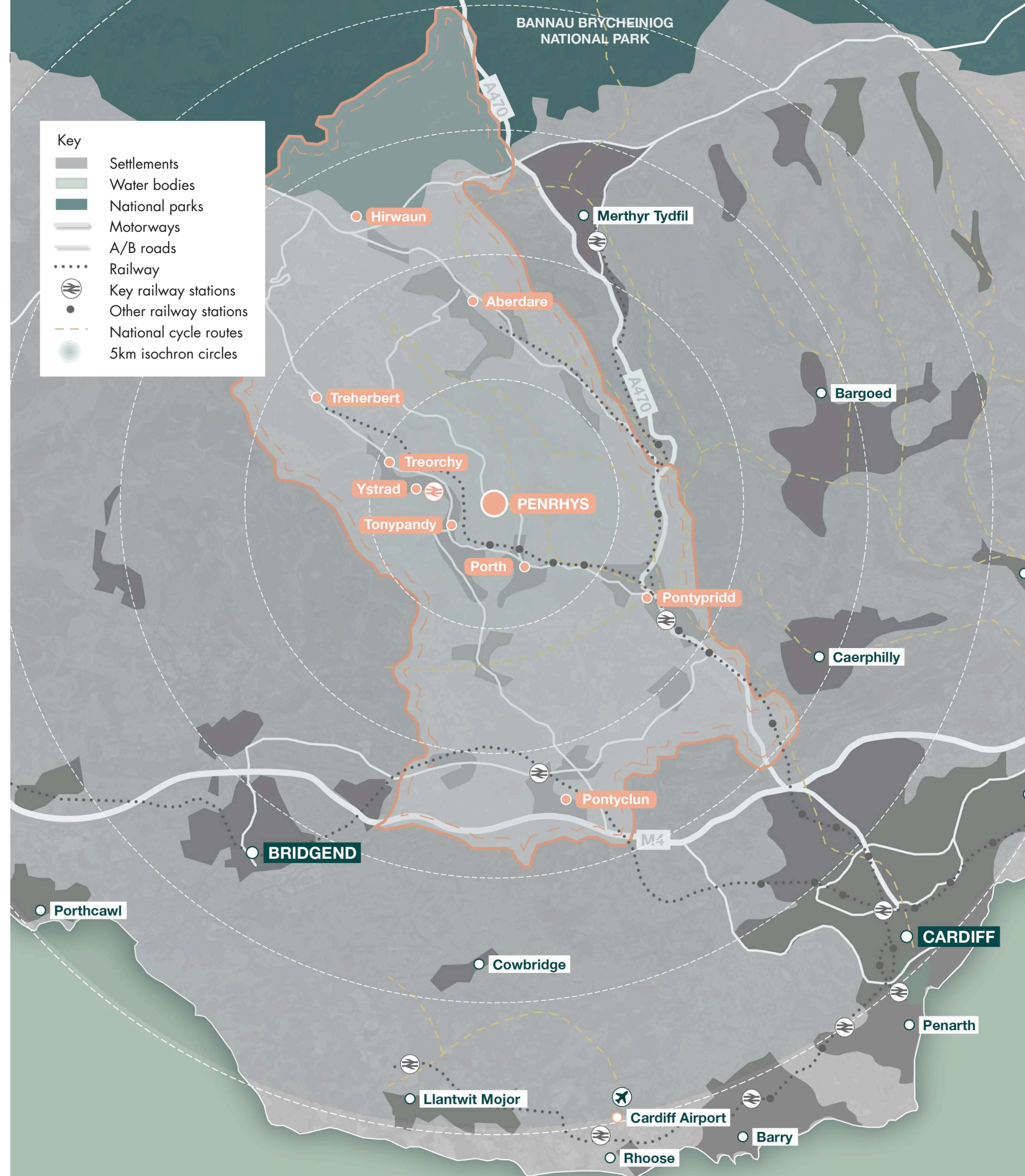
## **2 Masterplan Context & Analysis**

## 2.1 Site Information

### Site Description & Location

The site for this application comprises approximately 4.74 ha, situated within the north western corner of the Penrhys estate together with land to the north and west of the estate perimeter road. The Penrhys estate occupies a prominent hilltop location between the Rhondda Fach and Rhondda Fawr Valleys, positioned towards the ridgeline at the heart of Rhondda Cynon Taf. The village sits centrally within the borough, with Tylorstown located around 1km to the east and Ystrad approximately 1.4km to the west.

In terms of connectivity, Penrhys benefits from a strategic central location within the borough, with most parts of Rhondda Cynon Taf accessible by car within 20–30 minutes. The village is also served by public transport options, including two railway stations located within a 30-minute walk or a 10-minute cycle. However, the steep topography of the area is an important consideration.





### Site and Context

The topography is a defining characteristic of the site, with the landform sloping from north to south and punctuated by a series of plateaus created by former housing plots. This elevated setting affords extensive views across both the Rhondda Fach and Rhondda Fawr valleys.

The Penrhys estate covers an area of approximately 24 hectares and is currently home to 200+ properties. Developed during the 1960s and 1970s, it represented the largest public sector housing initiative in Wales at the time, forming part of a nationally significant programme of new settlements. Much of the original housing stock has since been demolished, and the cleared areas now provide a substantial brownfield redevelopment opportunity.

Taken together, these characteristics establish Penrhys as a unique location: a site with a distinctive and positive landscape setting, a strong cultural legacy, and the potential to accommodate a transformational regeneration project that will positively reshape the existing community and wider area.

*Figure 2 - View of the existing estate looking South.*





## Public Transport

Ystrad Rhondda rail station is located approximately 2 km (around a 25–30 minute walk) from the site, with Llwynypia rail station also within walking distance at 2.5 km. The steep topography of the area, however, makes these connections more challenging.

Penrhys is currently served by three bus routes: the 155, 170, and 172. Routes 155 and 172 operate from the bus stop at the roundabout, while route 170 also serves the stops at Penrhys Primary School and the Boilerhouse. Services 170 and 172 provide connections to nearby rail stations and to Tonypandy bus station, while service 155 links directly to Porth bus station.

## Active Travel and Public Rights of Way

Penrhys sits within a wider network of Public Rights of Way (PROW) that extend across Rhondda Cynon Taf and into neighbouring valleys. These routes typically link ridgelines to valley floors and, in some cases, provide cross-valley connections. A number of National Cycle Network routes pass relatively close to Penrhys, with both on- and off-road links. Sustrans has expressed ambitions to expand the cycle infrastructure in the area, with a particular focus on creating an improved route along the Rhondda Fawr Valley.

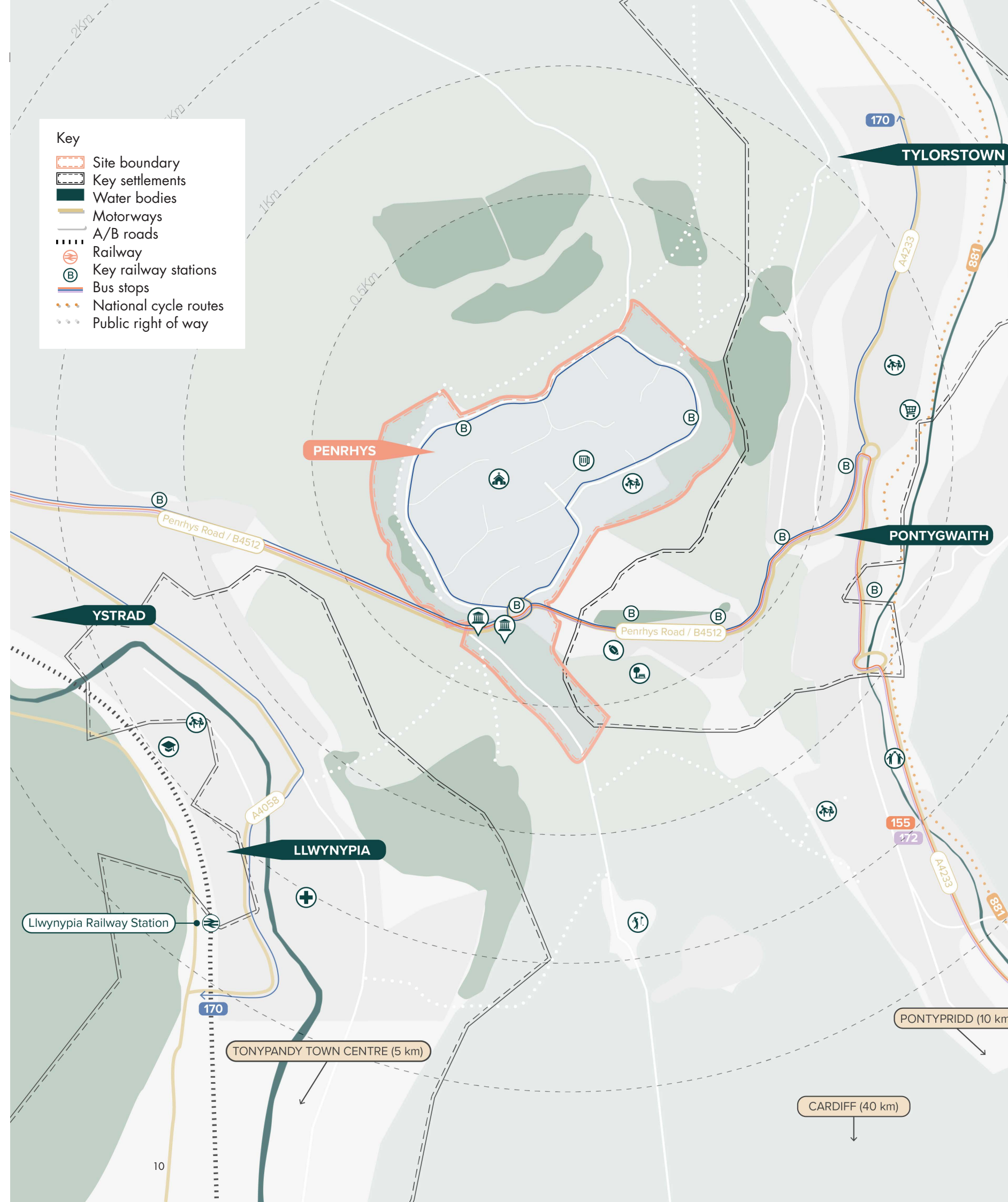
In addition, Rhondda Cynon Taf Council is exploring opportunities to repurpose infrastructure originally constructed for nearby wind farms to deliver a new recreational walking route northwards from Penrhys to Mynydd Tynewydd. Despite these opportunities, Penrhys remains relatively disconnected from the wider PROW and cycle networks, particularly to the north. At present, access to active travel routes relies largely on footpaths alongside the existing road infrastructure.

## Facilities and Amenities

Ystrad and Tylorstown offer a small selection of shops, convenience stores, post offices, public houses, restaurants, and takeaways. The nearest supermarket is Lidl in Tylorstown, approximately 1.1 km from the site. A wider range of retail facilities is available in Tonypandy town centre. Ystrad Cwm Rhondda Hospital lies 1.8 km from the site, with additional clinics and pharmacies available in both Ystrad and Tylorstown.

Penrhys is home to its own primary school, located within the southern portion of the estate. The nearest secondary school, nursery, and college are located in Tonypandy, which also provides the closest Welsh-medium secondary provision. The nearest Welsh-medium primary school is located in Ystrad.

The site benefits from immediate access to local recreation facilities, with Penrhys Park and Tylorstown Rugby Club adjacent to its southern boundary. Rhondda Golf Club lies approximately 450m south of the site and is also within walking distance.



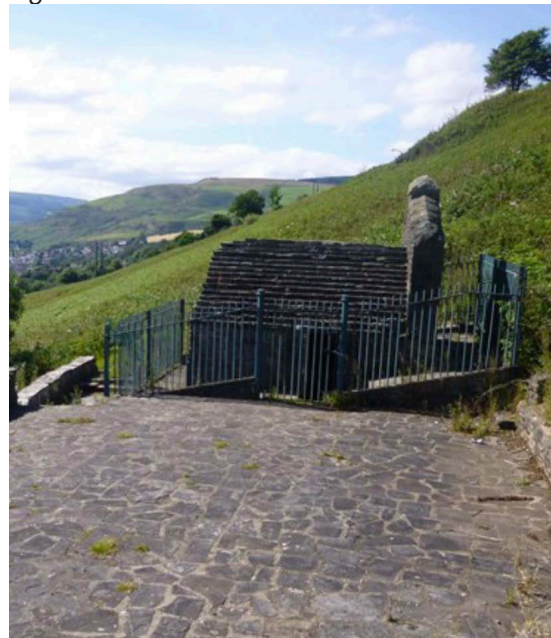


## 2.2 Penrhys' Heritage

### A Rich Past

Penrhys holds a unique place in Welsh history, shaped by both pilgrimage and industry. In medieval times it was one of Wales's most significant Christian sites, centred on the shrine of Our Lady of Penrhys at Ffynnon Fair. Centuries later, during the industrial boom, it became the location of a smallpox hospital and the starting point of the 1927 "Red Sunday" hunger march. This blend of spiritual heritage and industrial struggle gives Penrhys a distinctive identity within the South Wales Valleys.

Figure 3



#### St Mary's Well

Centred on a holy well that was very likely revered as a place of healing even in pre-Christian times, Penrhys is an ancient site of pilgrimage. Like many sacred springs, it was later dedicated to the Virgin Mary and became known as Ffynnon Fair (St Mary's Well), one of the earliest recorded Christian sites in Wales.

A small Pennant stone structure, the Wellhouse, stands over the spring to enclose and protect it.

#### Pre-Industrial Penrhys

Long before its industrial role, Penrhys was one of the most significant Christian pilgrimage sites in Wales. Its origins can be traced to a holy shrine dedicated to Our Lady at Ffynnon Fair (St Mary's Well), alongside a Cistercian manor belonging to Llantarnam Abbey, first recorded in 1203. By the 15th century, the site had developed into a pilgrimage centre with a chapel, well, and hostel. The antiquarian John Leland noted in the early 16th century that he saw "Penrise Village, where the Pilgrimage was," suggesting a small settlement had formed around the shrine.

Local legend tells of a statue of the Virgin Mary found in an oak tree near the well, a divine gift that could not be removed until a chapel and shrine were built. The statue remained until 1538, when Henry VIII's Reformation brought the shrine's destruction. Bishop Latimer recommended its removal to Thomas Cromwell, and it was taken to London and burned with other Catholic images. With its loss, Penrhys declined, though its religious significance was later rediscovered during the 19th-century industrial boom.

Archaeological investigations of the chapel took place in 1912, and in 1953 a new statue of the Virgin Mary was installed. Penrhys Cemetery opened in 1927, marking a further chapter in the village's evolving story.

Ffynnon Fair itself remains the oldest recorded Christian site in the Rhondda and may even have pre-Christian origins. Its waters were believed to cure ailments such as rheumatism and poor eyesight. The well is enclosed within a small vaulted building constructed of local Pennant sandstone, largely intact following restoration, containing stone benches, a cistern, and a niche once thought to hold a statue of Mary.

#### Industrial Penrhys

By 1904, the Rhondda's mining population had grown to over 110,000. Concerns about smallpox led to the establishment of an isolation facility, and in 1906 three acres were acquired at Penrhys for their central location and relative isolation. The smallpox hospital opened in 1907, serving first the Rhondda and later the wider South Wales region.

Penrhys also became a focal point for political action. In 1927, it was the starting point of the 'Red Sunday in Rhondda Valley' hunger march, organised by the South Wales Miners' Federation. Despite opposition from the TUC, the Communist-backed protest went ahead, with 270 participants marching in defiance of mass unemployment and hardship.

Figure 4



Red Sunday Demonstration

Figure 5



#### Our Lady of Penrhys Statue

The Shrine of Our Lady was still visited throughout the following centuries with records showing devotion up until 1842; though by this date little of the original shrine survived. On 2 July 1953 a new statue was revealed by Archbishop McGrath at the site of the old chapel. Standing on a plinth and although much larger than the original, was carved from Portland stone using the descriptions left behind in medieval Welsh poetry. More than 20,000 people attended the first pilgrimage after the erection of the new statue. Due to its religious importance, Penrhys is part of the Cistercian Way, and many people still make pious pilgrimages to the site every year.



## 2.3 Penrhys Today

### Challenges and Opportunities for Renewal

Penrhys is a place of considerable historic and cultural significance, yet understanding its character today is essential to shaping its future. Its origins as a major pilgrimage site and its later industrial and political history have left a layered legacy, influencing both the village's physical form and its social identity. By examining how these historical influences interact with Penrhys as it exists now — its topography, settlement pattern, and community dynamics — we can better identify opportunities for regeneration that respect the past while creating a sustainable and vibrant future.

#### The Opportunity

Penrhys is home to an active and resilient community, shaped and strengthened through decades of adversity. Yet the external perception of Penrhys often contrasts sharply with the lived experience of its residents. The village is frequently misunderstood; the prevailing narrative suggests, "Why would anyone have built it here?" overlooking the clear reasons behind its original design and location. It's not uncommon for individuals to note its striking views, but still comment that it is "in the wrong place." Too often, Penrhys is perceived as a failed or disconnected community, difficult to service and manage, and as an experiment that went wrong.

Trivallis recognises that overcoming these perceptions is central to any successful regeneration. Changing this narrative will not be straightforward, and the proposals within this application begin to lay the groundwork to carefully consider these challenges and ensure that they respect the community's resilience while presenting a renewed vision for Penrhys.



Figure 6

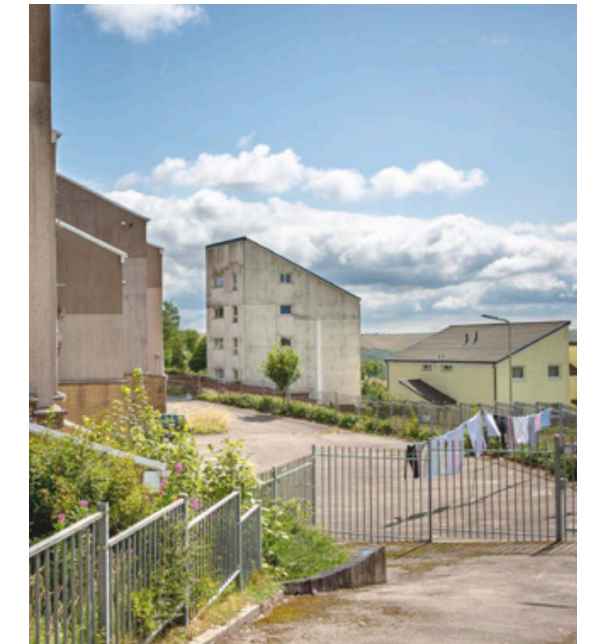


Figure 7



Figure 8



Figure 9



In order to avoid recreating the challenges that undermined the success of the original scheme, it is vital to reflect on where the previous masterplan fell short. Understanding these issues provides an opportunity to learn from the past and to shape a more resilient, inclusive, and sustainable vision for the future.



Figure 10



Figure 11

### Ring Road

Traffic speed is a concern on the ring road. In the original development, buildings were set back from the road, creating poorly overlooked spaces that lacked natural surveillance. Subsequent demolitions and population decline have further exacerbated this issue, leaving the road environment more exposed. The geometry and design of the road itself also encourage higher vehicle speeds, contributing to perceptions of safety risks for pedestrians and residents.

### Antisocial Behaviour

The combination of poor overlooking and a fragmented urban structure has led to a number of spaces being associated with antisocial behaviour. Locations such as underpasses and bus stops suffer from limited natural surveillance, while areas left undefined by demolitions or by the original masterplan concept lack a clear purpose or function. These underused and poorly supervised environments have consequently become hotspots for antisocial activity.

### Scrambling and Off-road Vehicles

The extensive areas of cleared, unused, and undulating land left following demolitions have created opportunities for off-road motorbikes and bicycles to be used across the estate. While this issue is largely a by-product of the site's current condition and is not expected to persist once redevelopment is complete, it may remain a challenge during the early phases of construction and transition.



Figure 12



Figure 13



Figure 14

### Play Spaces

Provision for play and recreation is limited and does not adequately meet the needs of different age groups. Currently, Penrhys has three play spaces:

- a formal equipped play area, primarily suited to children under 12,
- a poorly maintained and awkwardly shaped Multi-Use Games Area (MUGA), and
- an informal open play space.

There are no dedicated facilities for older children and teenagers, meaning opportunities for socialising are restricted.

Furthermore, existing play spaces are located away from residential areas and lack strong natural surveillance, which affects both perceptions of safety and their overall use.



### Existing Housing Issues

The current housing stock faces multiple challenges. Many homes suffer from poor-quality materials, leaks, limited garden space, and small interior areas such as kitchens and bathrooms. The layouts are inflexible, making it difficult to adapt to changing household needs over time.

Figure 15



### Relationship to Surroundings

Many homes lack a clear frontage and have a weak relationship with their surroundings. Ground floors are dominated by garages and fenced gardens, while front doors are positioned in ways that physically separate neighbours, reducing opportunities for everyday social interaction. The orientation of houses and the arrangement of front and back elevations have created streets and open spaces that feel uninviting. Many spaces feature inactive street edges, dead elevations, service yards adjacent to streets, and obscure ground-floor windows.

### Public Realm Challenges

Setbacks between buildings and streets, unclear block layouts, and poorly oriented buildings contribute to public spaces that feel like leftover or residual areas. These spaces are often overlooked, serve no clear function, and are visually unappealing due to back fences and garage dominance.



Figure 16

### Public Buildings and Amenities

The village lacks visible and accessible facilities and amenities. The centre of Penrhys, where the church and shops are located, suffers from poor natural surveillance because surrounding houses back onto these spaces. As a result, these community facilities are visually disconnected, and non-local visitors are unlikely to realise they exist.



Figure 17



## 2.4 Land Use & Open Space

### Land Use

The site benefits from close proximity to Penrhys Primary School and Penrhys Children and Family centre which lie adjacent to the West of the estate. At present there is a small convenience shop on site, however the current low population within the estate makes the viability of a convenience store challenging. The site also benefits from Llanfair Uniting Church which has significant religious history relating to Our Lady of Penrhys.

Historically, prior to large areas of demolition, the site benefited from public house, further shops/takeaways and doctors surgery; the nearest assets are now in neighbouring settlements of Tylorstown, Pontygwaith, Tonypany and Ystrad where other assets including library, hospital, supermarket and leisure centres are located.

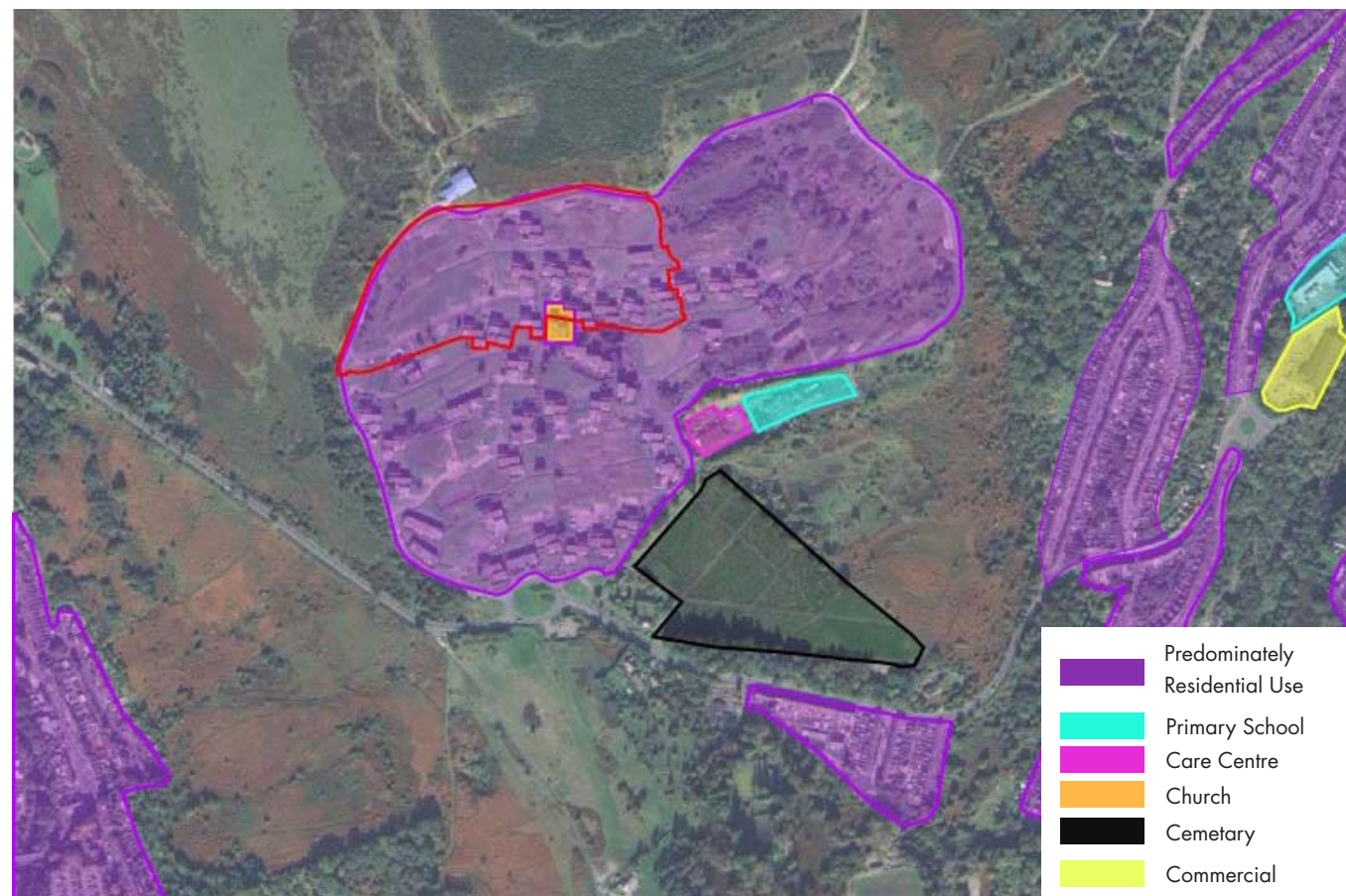


Figure 18 - Diagram showing local land use & facilities

### Open Space

The site lies on the hilltop between the valleys of Rhondda Fach and Rhondda Fawr, benefiting from far reaching near 180 degree views from the East to the West. To the North of the site is operational forestry land owned and operated by NRW.



Figure 19 - Diagram showing local open space



## 2.5 Transport & Movement

## Transport

The site lies to the North of the Penrhys estate, below the top of the Heol Pendyrus ring road which lies on the periphery of the estate. The estates ring road is connected at the Southern end to the B4512 connecting to Ystrad and Tylorstown to the West and East.

The site's vertical elevation near the top of the hillside make accessing services in neighbouring towns by walking challenging. A bus service connects the Penrhys estate to Bridgend, Aberdare with connections to Merthyr, Clydach Vale, Blaenllechau, Porth, frequency ranges from every 30mins to every hour.

Railway stations are located in both valleys and offer connections to the wider area and to Cardiff.

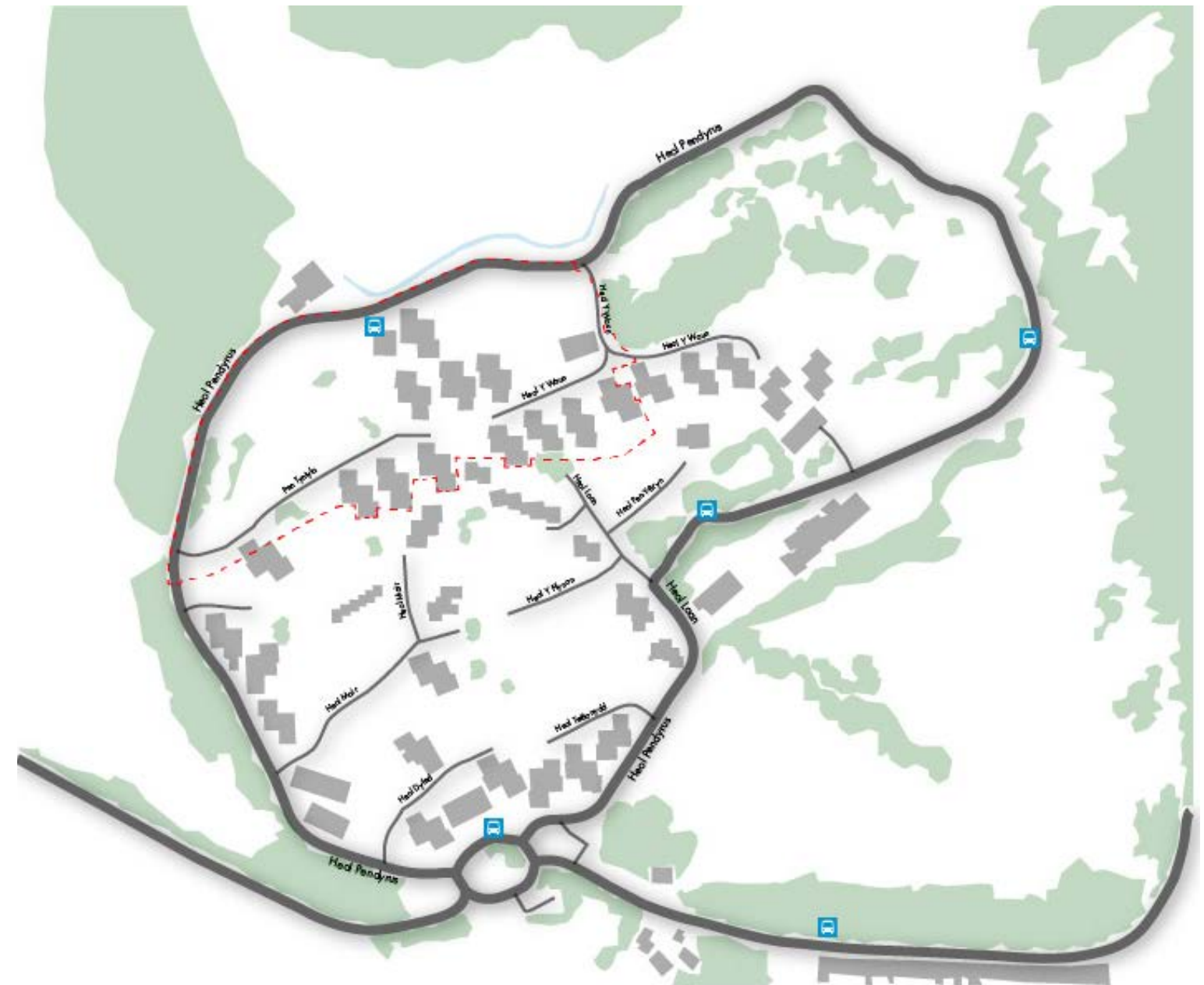


Diagram showing local road network and bus stop locations



## 2.6 Site photos Penrhys

The images shown are taken from the Penrhys Estate, circa October 2024, and depict several of the key buildings/locations noted.

Figures 20 and 24 show the most significant local landmarks, including 'Our Lady Penrhys' Statue and the Llanfair Uniting Church.

Figures 21-22 show the general character of the area, identifying properties either in poor condition and currently housing tenants or are vacant.

Figure 23 highlights the location of the only local shop on the development, which at present is closed due to the lack of trading available on the site.



Figure 20 - Our Lady Of Penrhys



Figure 21 - One of the existing vacated properties



Figure 22 - Example of existing boundary treatments to the site

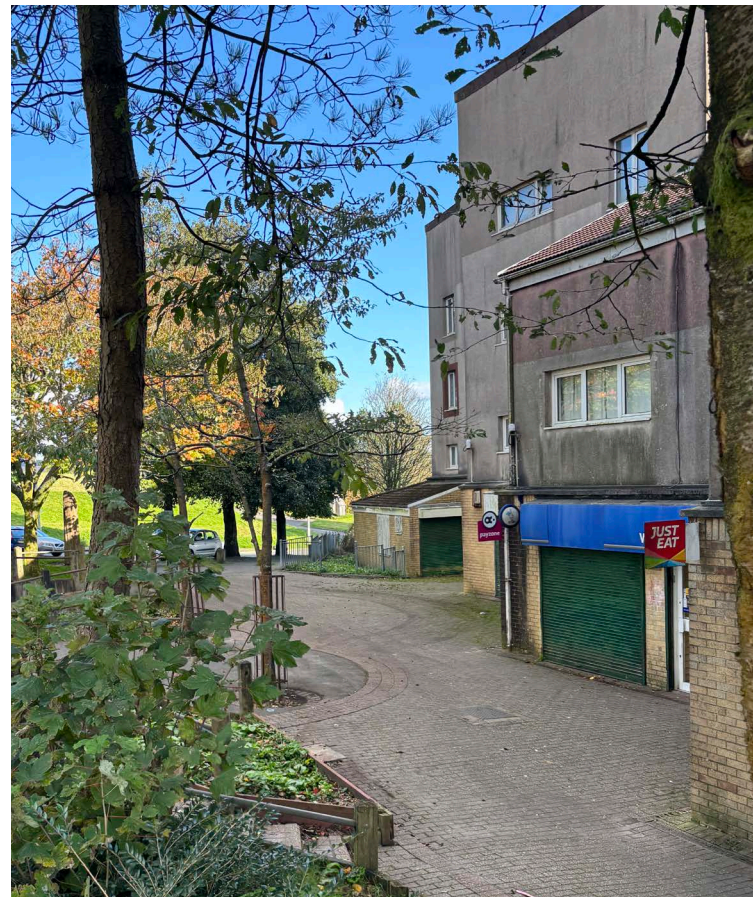


Figure 23 - Location of the local shop, currently closed.



Figure 24 - Llanfair Uniting Church



## 2.7 Site photos Penrhys Phase 1A

The images shown are taken from around the Phase 1A redevelopment area of Penrhys, circa October 2024. The images demonstrate the poor existing condition of the properties and the need for a regeneration to the development.



Figure 25 - Heol Penrhys 336 - 343



Figure 26 - Heol Penrhys 379 - 376



Figure 27 - Heol Penrhys 379 - 376



Figure 28 - Heol Penrhys 403 - 398



Figure 29 - Heol Penrhys 255 - 248



Figure 30 - Heol Penrhys 231 - 224



Figure 35 - Aerial view of Penrhys with the development red line boundary



Figure 31 - Heol Penrhys 114 - 119



Figure 32 - Vacant Energy Centre



Figure 33 - Heol Penrhys View



Figure 34 - Heol Penrhys View



# 3 Masterplan



### 3.1 Masterplan Development

#### Vision & Principles

Trivallis is committed to establishing Penrhys Village as a vibrant place where people choose to live, regardless of their social or economic background. To achieve this vision, the wider masterplan proposals seeks to:

- Deliver a high-quality, low-carbon homes;
- Create a distinctive green neighbourhood that promotes health and wellbeing;
- Provide outstanding community facilities that nurture growth and development; and,
- Unlock unique opportunities that celebrates the wealth of natural and historic assets on its doorstep.



Figure 36

To help frame the vision, a series of design and placemaking principles have been established. These include:

1. Offer new homes with a compelling lifestyle offer. Penrhys has an inherent sense of place that is underpinned by its beautiful natural setting. Opportunities for quality everyday services, outdoor health and wellbeing and recreation should be exploited and should be 'front and centre' of its offer to residents.
2. Revitalise Penrhys. The extent of developable land means that Penrhys can be revitalised with new homes designed to be attractive, use renewable energy and be arranged around vibrant streets and natural ecologically rich green spaces. Architecturally, new buildings can respond confidently to Welsh themes and belong to South Wales.
3. Deliver new community facilities. This should be a cornerstone to enable a flourishing community. Where delivered new facilities will be designed to feel part of the landscape and provide confidence to families that the Village is a place with sustained investment in the future.



Figure 37



Figure 38



Figure 39

4. Safeguard the unique natural setting, archaeology and medieval history. Each of these factors are unique reminders of the history of Penrhys and each must be protected and enhanced to attract visitors to the village on a sustained basis.
5. Exploit opportunities for outdoor tourism. The unique setting of Penrhys and its access to stunning upland landscape creates an opportunity to create an outdoor tourism and adventure recreation offer that would increase the vibrancy of the Village and create economic opportunities for the community.
6. Reduce the need to travel by private vehicle. The remaking of Penrhys should incorporate core every-day services but also greater choice to assist mobility via e-bikes, car share and Click style bus services all connect to regional Metro rail services from Ystrad. A greater population density would also support a more viable frequent bus service.

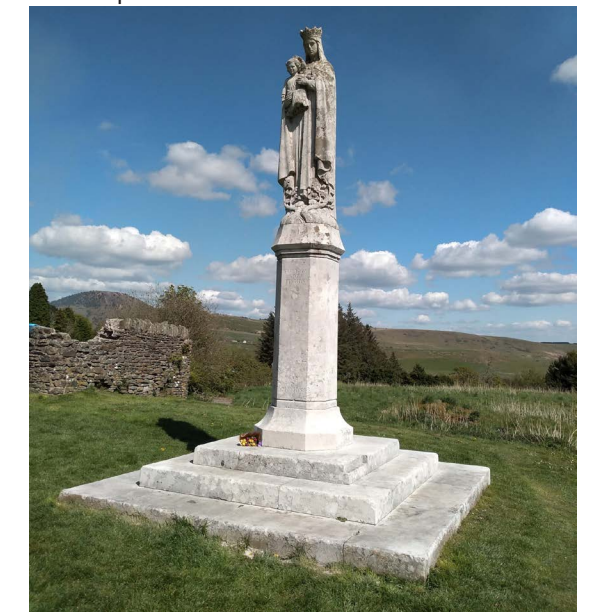


Figure 40



## 3.2 Masterplan Development

### Wider Penrhys Indicative Masterplan

The indicative layout demonstrates how circa 850 homes may be organised across the wider site area with community facilities and future school improvements following the established key principles.

- 850 homes, 35% of which are to be affordable;
- A mix of house types, sizes and arrangements to suit a variety of needs;
- Inclusion of community facilities and commercial facilities where viable;
- Inclusion of potential future school proposals on existing school site;
- Celebration of historic structures with enhanced links and supporting of community/education/commercial use;
- Creation of new ecology and landscape 'corridors' as part of new green corridor network, incorporating trim trails, play on the way; and micro allotments;
- Extensive Public Open Space provision incorporating equipped and natural play areas;
- Creation of new pedestrian/cycle links within and through the site to enable major new links to key destinations including Penrhys Park, Tylorstown Rugby Club and Ystrad Rhondda Train Station;
- New transport link to Rhondda Golf Club;
- Improve the connection between the Village and the natural context contributing towards happier and healthier living. Pedestrian prioritisation design primary roads towards the edges of the site;
- High level SuDS strategy integrated into place-making strategy and providing distinctive character;
- Creation of new local centre;
- Creation of new more direct link to St Mary's Well that ties the heritage feature the existing amphitheatre and Lady of Penrhys Statue.
- Creation of residential environments tailored to maximise opportunities for community interaction with homezone street treatments and shared communal lanes within the residential areas.
- Enhanced community heart retaining local church and providing new community centre with flexible community space, gym, nursery and changing rooms; and,
- Utilisation of 'Gentle density' principles to achieve medium to high density across the site in line with local policy and aspirations.

- Key**
- ★ Opportunity for community use combined with flexible spaces (potential leisure, commercial or co-working areas depending on further feasibility studies)
  - ★ Potential for heritage/culture uses and/or visitor centre integrated with community uses and flexible spaces.
  - ★ Potential area for MUGA
  - ★ Potential for public art or cultural/educational elements creating 'events' in main movement routes
  - ♥ Opportunity for Memorial spaces / Contemplation areas
  - \* Potential location of parking areas for visitors near public facilities and amenities

- Key**
- Site boundary
  - Retaining Structure - Up to 1.5 m
  - Retaining Structure - Higher than 1.5 m
  - Retained / Proposed Trees
  - Formal Play Areas
  - Grassland Habitat
  - Indicative Main Active Travel Routes
  - Indicative SuDS feature
  - Indicative Residential Buildings
  - Indicative Key Public Buildings
  - Possible uses including community, leisure, cultural and flexible uses
  - Indicative Mixed Use Buildings
  - Area under revision - potential for play elements, leisure use and / or residential use
  - Potential future school area





# **4      Community Engagement**

## 4.1 Community Engagement Overview

Community engagement is essential to the successful regeneration of Penrhys. The estate is home to a resilient and active community whose insights are vital to understanding both the challenges and opportunities of the site. Past perceptions often misrepresent the lived experience of residents, so involving the community ensures that local knowledge shapes the vision for the future.

The engagement undertaken to date has helped build trust, reflect local priorities, and create designs that support social connections, inclusive public spaces and a sustainable, vibrant, and resilient place to live.

Community engagement has been undertaken by Trivallis in various forms such as;

**Engagement Events** - Every month 2 sessions are run in one day, allowing residents, locals and anyone with an interest in the development to come along to these sessions which cover various topics. These sessions are typical crucial for the designers to gather feedback from residents.

**Family Sessions** - Five sessions with 18 local families in which they crafted items for community events culminating in an community led event and piece of public art.

**Planning engagement with local community** - Numerous sessions with the local community member connectors and internal/external stakeholders, including the design team to discuss proposals and feedback.

**Direct communication** - Trivallis have met with each individual directly impacted by Phase 1A to discuss any concerns. Along with door to door conversation to raise awareness of the redevelopment going ahead through events such as community clean up or bench building day.

**Education sessions** - events with the local children through the community centre and the school to hold events on ecology with the ecologists from the design team.



Figure 41- Image from the community engagement event voting on play equipment



Figure 42- Image from the community engagement

# 4.2 Community Engagement Engagement Events

Through the monthly engagement sessions which began in October 2024 with the local community, we have received invaluable feedback to help guide the direction of the design for Phase 1A.

Several open engagement sessions were held at Penrhys with approximately 50 residents per meeting to discuss various topics, some of which included the design team and others targeted at more specific areas outside of design.

Residents highlighted the strengths of the Penrhys community and their pride in its landscape, views, and setting, while also identifying areas for improvement, including access, safety, and the quality and usability of green spaces. Key themes that emerged included the need for multiple age-appropriate and accessible parks, improvements to streets and walkways for safety and social interaction, support for wildlife, and better connections to local facilities such as the school, church, and shops.

Looking ahead, residents expressed a desire for homes that suit families, retain the village’s character, and use robust materials appropriate to the hilltop location. They emphasised retaining a central community heart, creating spaces for social interaction, improving accessibility, and providing facilities such as sports areas, childcare, creative workshops, health services, and retail. Suggestions for green space enhancements included growing gardens, shelters with Wi-Fi, public toilets, and recreational facilities like skate parks, BMX tracks, and multi-use sports pitches. This feedback was utilised to help inform the proposals set out within this application, ensuring it contributes towards local priorities and supports a vibrant, inclusive, and resilient community.

## November 2024 Session

Introduction to the wider community for the intention of regeneration through community visioning and branding.

## December 2024 Session

Examples of the various types of homes from the Tai Ar Y Cyd pattern book to give residents an indication to the types of homes being proposed. Various site layouts for Phase 1A to gather community feedback.

## January 2025 Session

Further clarity and feedback to the house types being proposed, along with additional responses to elevational design and materiality to the houses. The Urbanists presented landscape ideas to gather the type of spaces residents would prefer in the public realm.

Discussions with residents about digital communication and improvements to transport required for Penrhys.

## February 2025 Session

Comparisons of the existing homes against the proposed homes in relation to size, area and layout. The emotional impact of moving for existing residents and understanding what change means for different families, therefore allowing Trivallis to help as best as they can moving forward.

## March 2025 Session

Trivallis provided updates to residents on key themes presented to date and shared FAQ’s gathered from all the previous sessions. Discussions began around planning a community nature garden and what residents would want.

## April 2025 Session

No session was held in April due to the design team requiring time to develop the design.

## May 2025 Session

Trivallis provided updates to residents on key themes presented to date. Discussions around viability of the development and cost efficiency of solar energy was explained to residents.

## June 2025 Session

No session was held in June due to the design team requiring time to develop the design.

## July 2025 Session

No session was held in July due to the design team requiring time to develop the design.

## August 2025 Session

Update to residents on the progress of the design and planning application during the summer period, as several sessions were not held. More detailed update on Phase 1A and what the application and construction will mean to residents.

**Following PAC another session is planned to present the information in PAC to residents and answer any queries. Information from this session will form part of the application.**



# 4.3 Community Engagement Summary

The community engagement sessions held to date have been invaluable in forming the design, understanding residents current issues with the development form a huge part of understanding both the challenges and opportunities for the redevelopment of Penrhys.

The key themes that emerged from the sessions are captured in the icons to the right.



Figure 43 - Image from the community engagement commenting on layout.



Community

Retain and grow the community spirit that already exists at Penrhys



Identity

Retain the identity of Penrhys with the valleys of South Wales



Safety

Provide Safe Spaces for Play and Leisure



Quality

Provide good quality homes that are not only suitable for current living but also future proofed

Community engagement has formed a key principle to the design development of the proposal of both Phase 1A and the masterplan. To accurately capture this, the structure of the Design and Access Statement is as noted below.

The key themes covered in the community engagement sessions are noted on the previous page. However during those sessions the design team recieved more detailed feedback on specific elements of the design, whether this related to the types of play equipment preferred or voting on options for various porch/canopy designs to the housetypes.

To truly capture the level of community involvement, the structure of this Design and Access statement will have green pages inserted throughout. These pages will cover any community feedback recieved during the design development on varoious elements. Which is a more accurate reflection to the design development narrative of this proposal.



Figure 44 - Image from the community engagement

# **5 Tai Ar y Cyd Patternbook**



## 5.1 Tai Ar Y Cyd Pattern book Delivering Net Zero Project

Developed in partnership with 23 Welsh social landlords, including Trivallis, and with support from Welsh Government, the Tai ar y Cyd Pattern Book provides a practical framework for delivering cost-effective, ultra-low carbon housing at scale.

In response to escalating housing demand, fragile supply chains, and urgent net zero commitments, the Pattern Book introduces 15 core house types and 18 variants—from one-bedroom flats to fully wheelchair-accessible homes—each meeting or exceeding Welsh Development Quality Requirements and the Welsh Housing Quality Standard.

The homes follow a robust, fabric-first approach with the homes at Penrhys targeting a performance levels aligned with AECB

CarbonLite standards. Key features across all homes include:

Together, these features help tackle fuel poverty, lower carbon emissions, and create healthy, comfortable, and long lasting homes.

Just as important as what the homes are made from is where those materials come from. The Pattern Book seeks to promote the use of Welsh-grown timber and natural insulation—cutting embodied carbon while reinforcing

local supply chains. These choices help root each development in its setting, echoing the materials and textures of Welsh towns and rural communities.

The Penrhys site is one of 15 sites introducing the Tai ar y Cyd Patternbook housing, we have endeavored to maximise the use of the Patternbook where feasible throughout the proposed scheme.

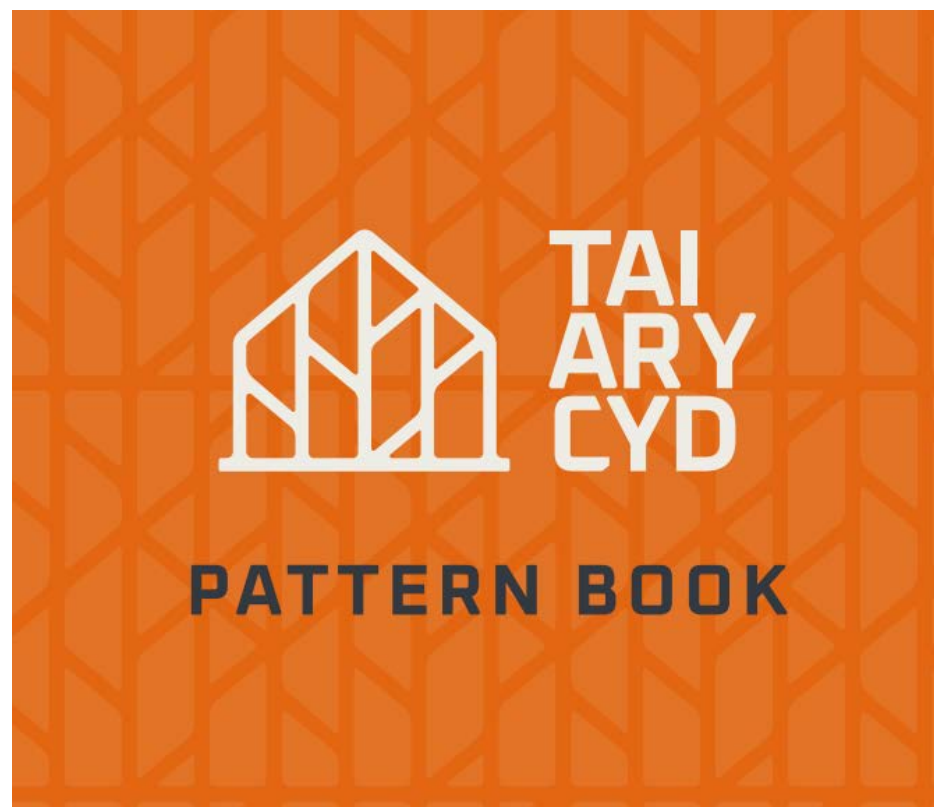


Figure 45 - Cover image from the Tai Ar Y Cyd Pattern Book

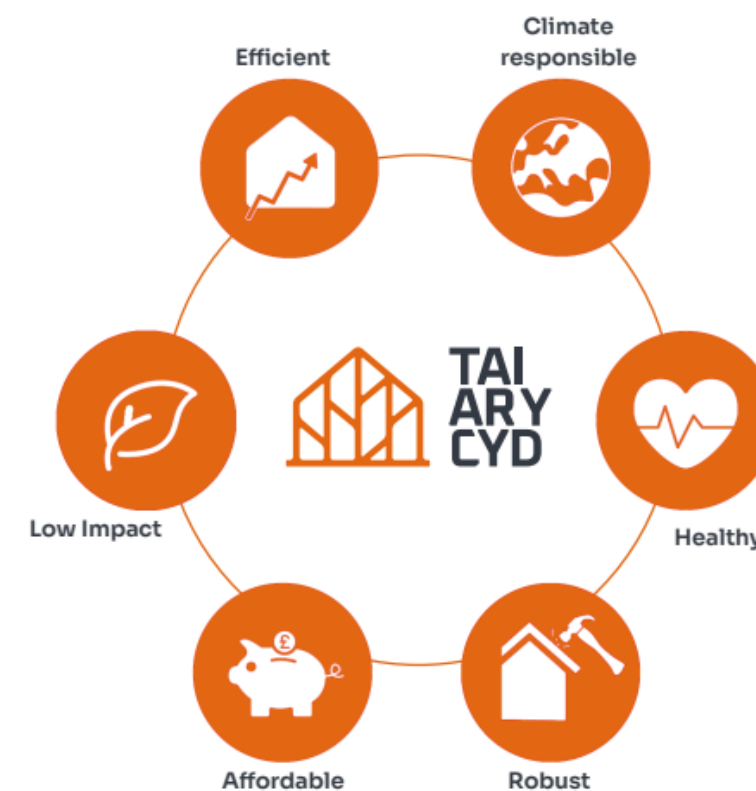


Figure 46 - Elements of the Tai Ar Y Cyd Pattern Book

## 5.2 Tai Ar Y Cyd Patternbook Delivering Net Zero Project

Examples of the application of a variety of options for materiality and elevational treatment to the pattern book house types.



Figure 47 Examples of Tai Ar Y Cyd pattern book house types with various material and elevational treatment



Figure 48 Examples of Tai Ar Y Cyd pattern book house types with various material and elevational treatment



Figure 49- Examples of Tai Ar Y Cyd pattern book house types with various material and elevational treatment



## 5.3 Consultation Feedback

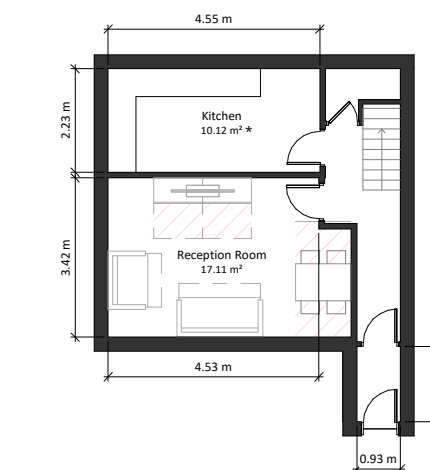
### Tai Ar Y Cyd House Types V Existing Houses

In a prior community engagement session we presented the Tai Ar Y Cyd Pattern Book house types intended to be used within Phase 1A. During that session it became clear residents wanted a better understanding of the layouts in comparison to their existing homes.

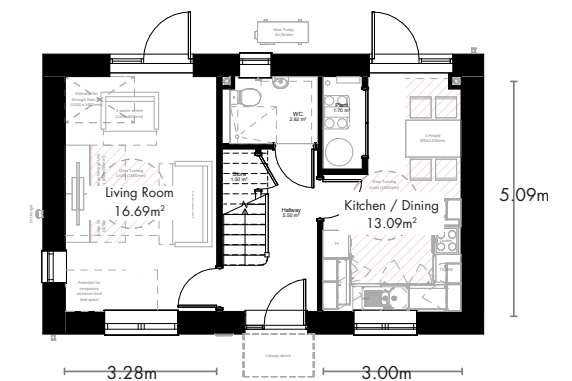
Therefore in the following session we compared several of the typical Tai Ar Y Cyd house type plans to similar sized existing homes. The total square metrage is lower, however the layouts are more efficient with less circulation space.

Summary of main feedback points from residents is summarised below.

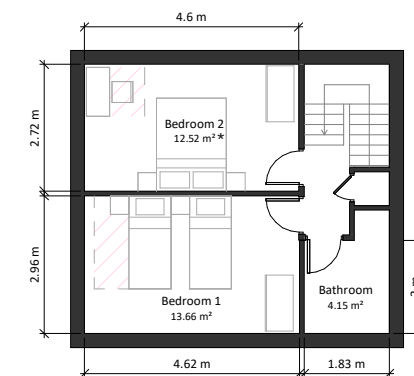
- Existing homes have a separate kitchen/dining and living space, which the residents preferred. This layout design was proposed to the new house types.
- Sufficient storage was a major discussion point. The proposed houses have more storage cupboards than the existing, however residents have utilised the loft for storage in the existing homes. Optimising the loft for storage has been considered moving forward on the proposed house types. Overall the existing homes have a higher storage provision.
- Insufficient refuse storage was another issue with the existing homes, especially when considering refuse collection for the development is every 3 weeks and many homes have families residing in them. There is no opportunity to increase storage internally, which lead on to the conversation of reviewing the refuse strategy across to the site and an additional piece of design development exploring the various integrated refuse (and potentially cycle) storage to dwellings are up to current needs and future proofed.
- By comparing the existing and proposed plans, we could clearly demonstrate to residents that existing homes are not up to current regulations (Building Regulations Part M or Lifetime Homes).



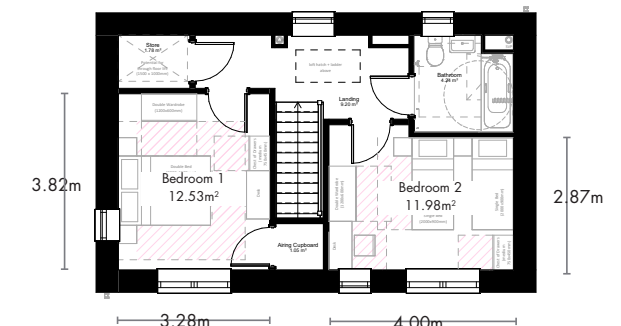
Ground Floor 2B Existing  
Floor Area (GIA): 37.90m<sup>2</sup>



Ground Floor 2B4P Wide Fronted  
Floor Area (GIA): 43.63 m<sup>2</sup>



First Floor 2B Existing  
Floor Area (GIA): 37.88m<sup>2</sup>



First Floor 2B4P Wide Fronted  
Floor Area (GIA): 43.63 m<sup>2</sup>

Comparison of an existing house from Penrhys to a similar size from the pattern book



Figure 50 - Image from the public consultation in which Tai Ar Y Cyd housetypes were displayed and discussed with residents

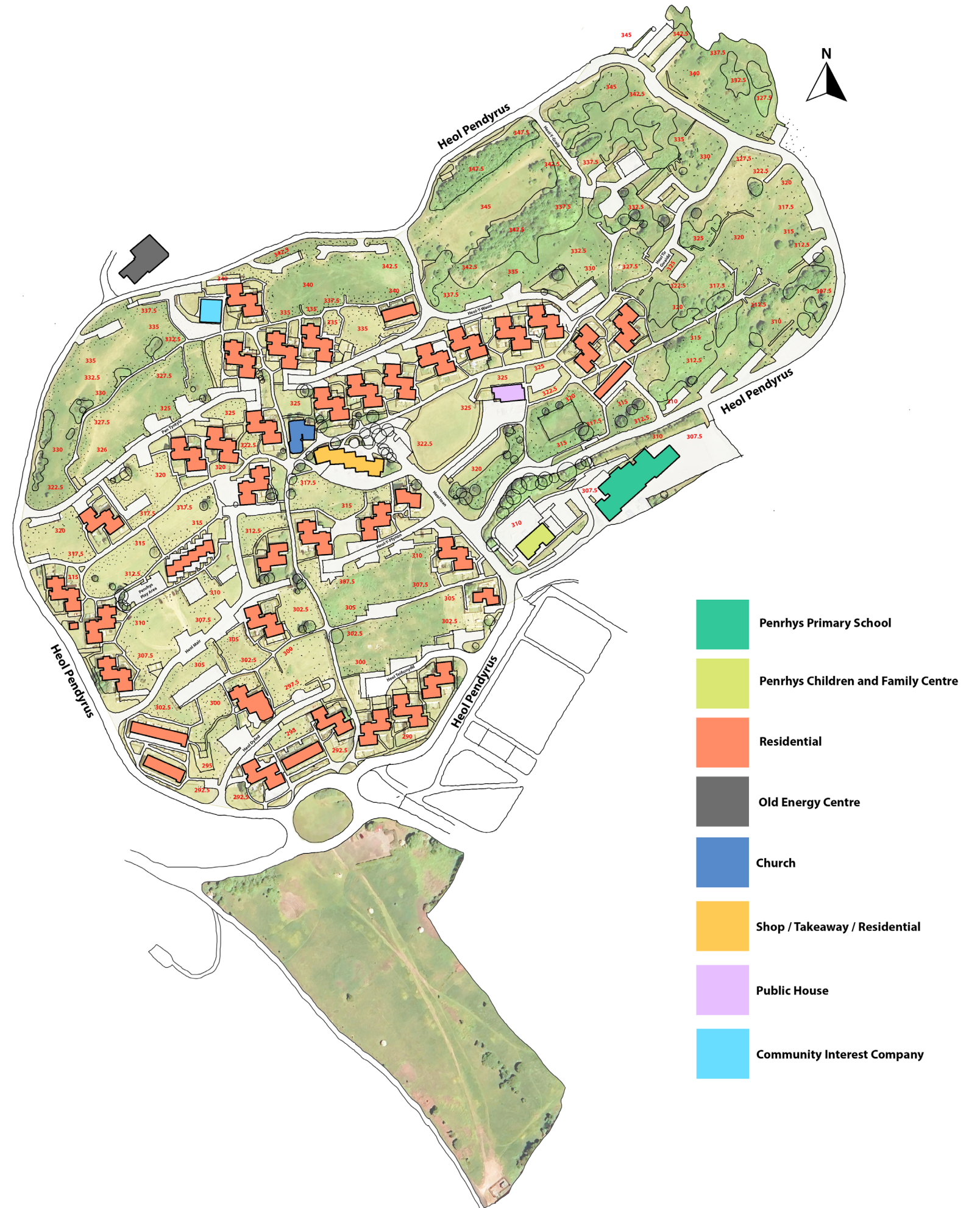
## **6 Phase 1A Site Analysis**

## 6.1 Site Analysis

### Lessons learnt from the existing development

Various observations may be made on the original design and the challenges of modern day living for residents and visitors. These can be summarised in to the 8 points below.

1. Topography & Access
2. Parking
3. Path Access
4. Thresholds
5. Outlook
6. Amenity
7. Residual Space
8. Opportunity for Play





## 6.2 Site Analysis

### Topography & Access

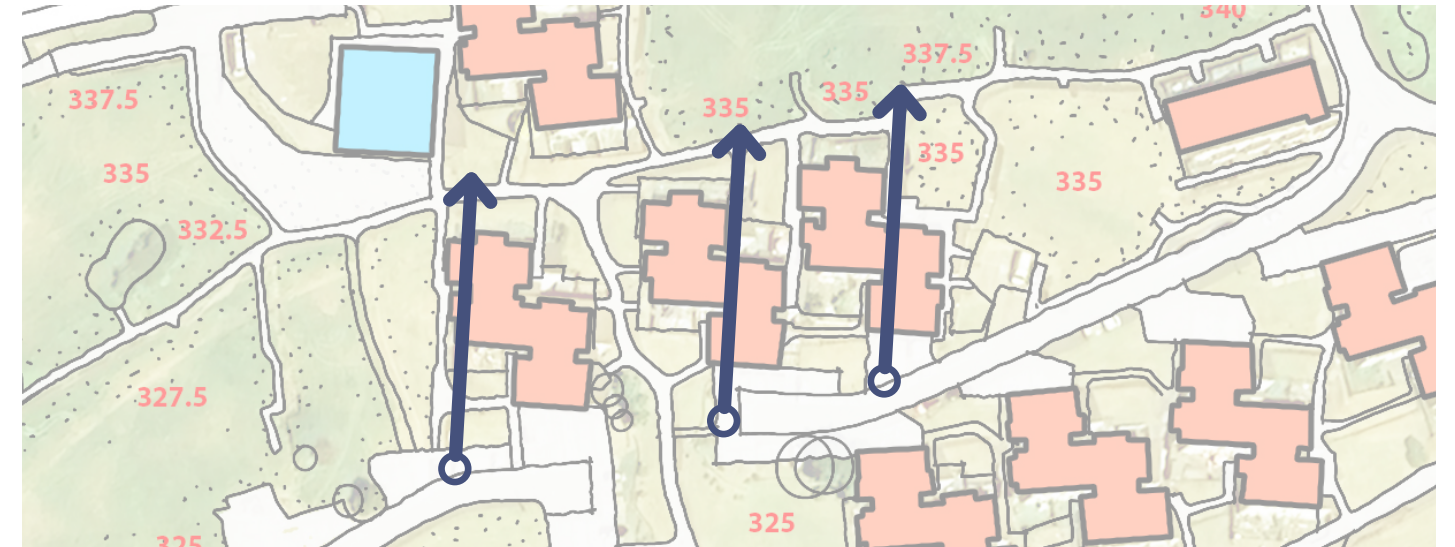
The steep topography results in challenging access with all existing properties having access that would be non-compliant with Lifetime Homes amenity which lacks privacy and security.



Figure 51



Figure 52



### Parking

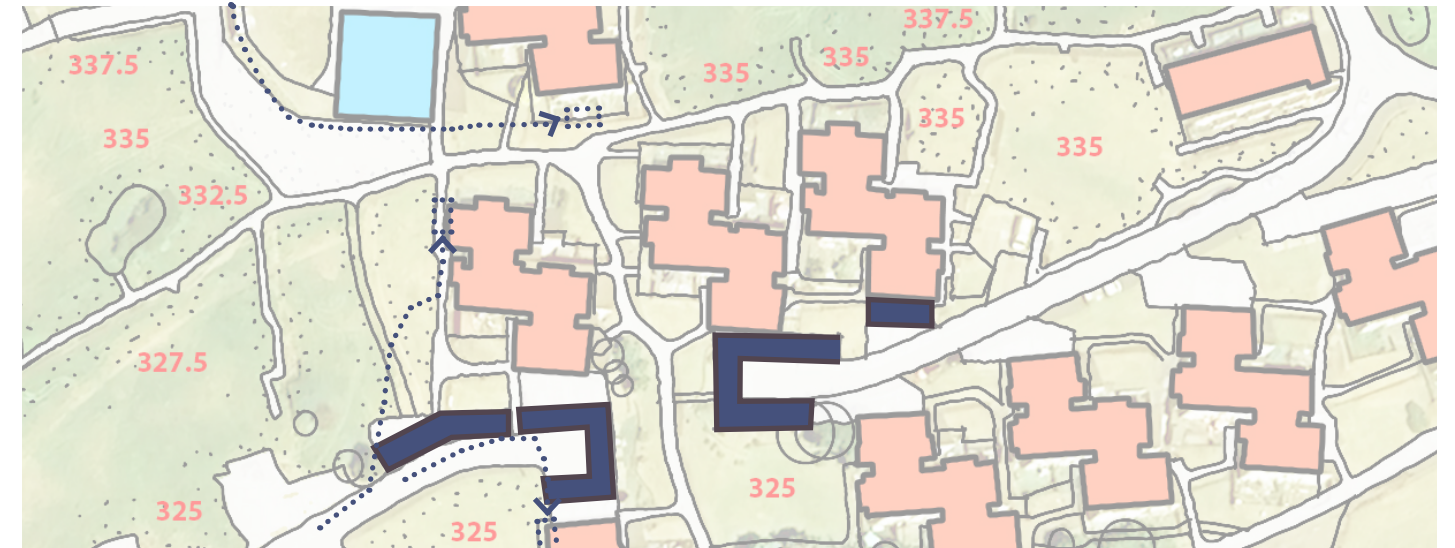
Parking is often remote and following removal of neighbouring properties, residents often drive over the grass to ensure their vehicles are parked close to their homes.



Figure 53



Figure 54



### Path Access

Some properties are very remote from the highway with only access from pedestrian paths.

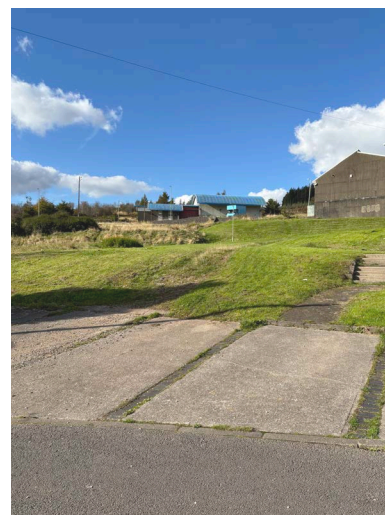
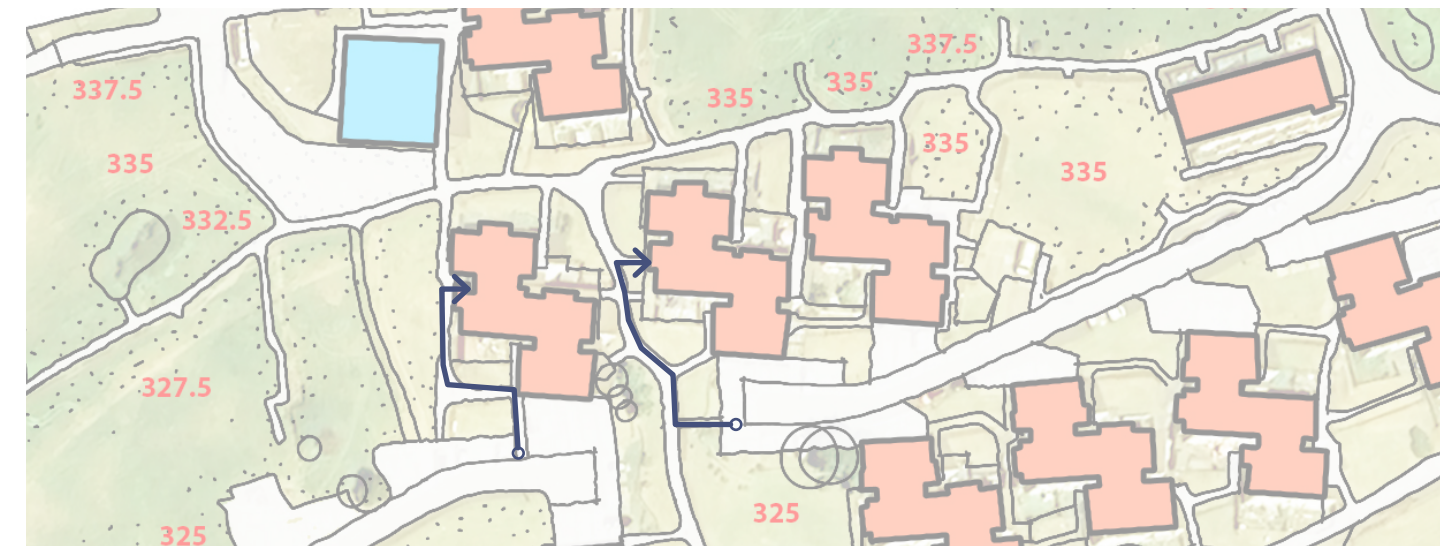


Figure 55



Figure 56





## Thresholds

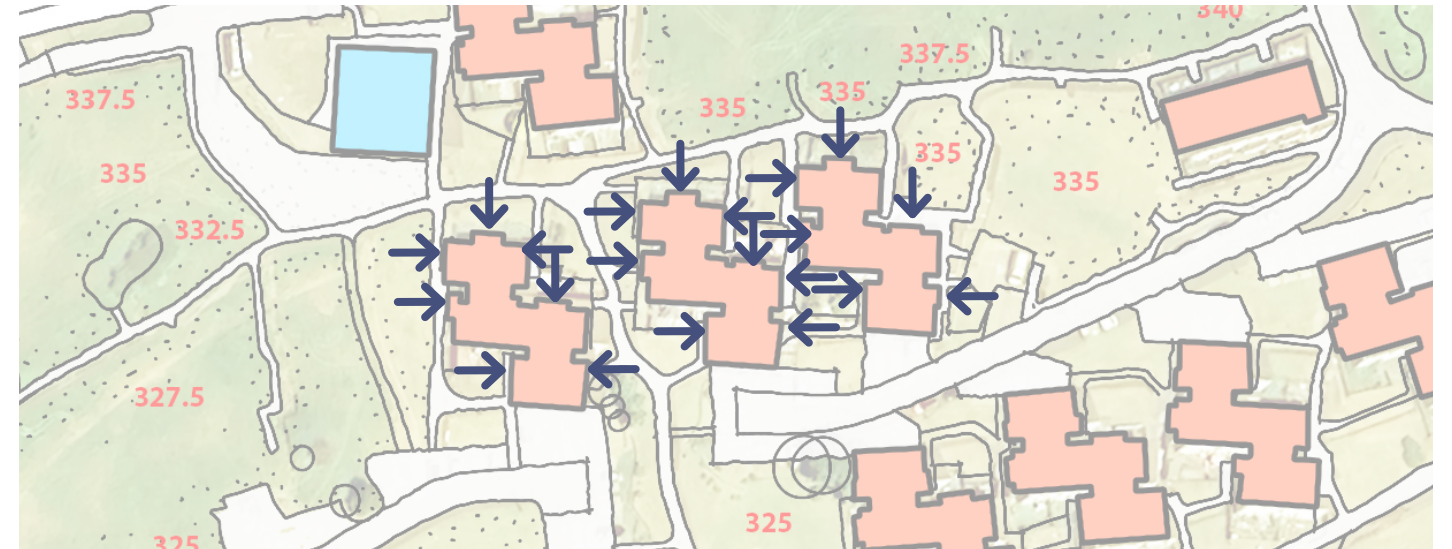
The layout of the previous block design has front doors located around on all sides of the buildings, creating no common frontage.



Figure 57



Figure 58



## Outlook

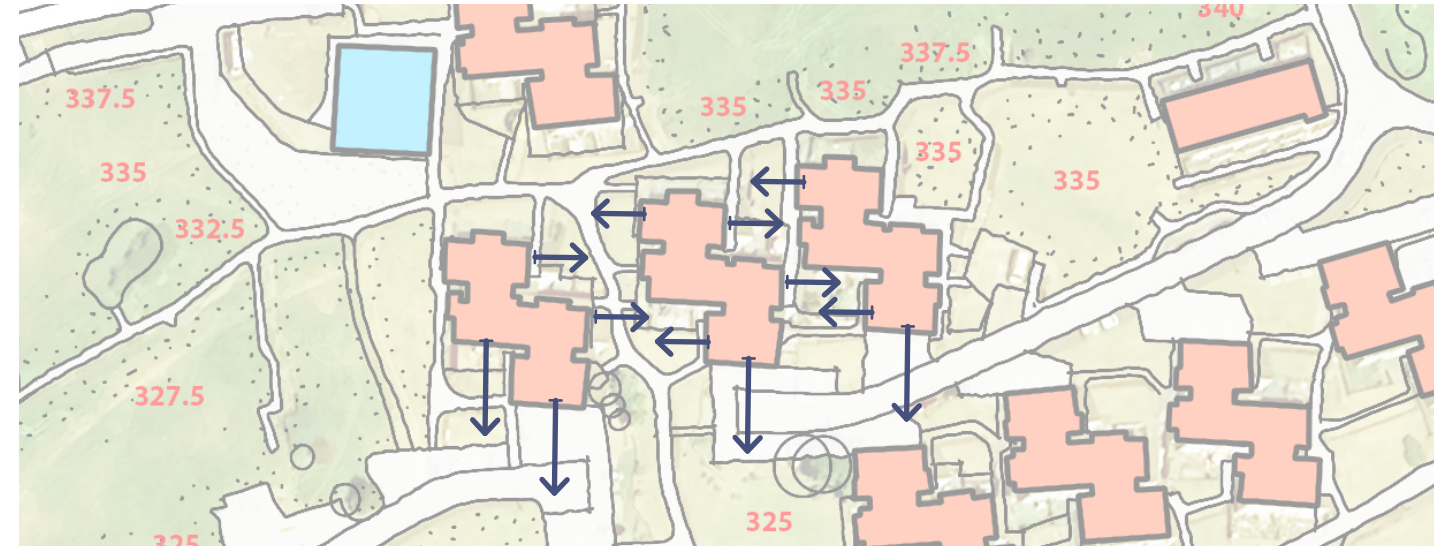
Most properties lack an outlook, with many looking out to retaining walls and / or their neighbours at a distance of approximately 2-3m.



Figure 59



Figure 60



## Amenity

Existing homes have variable amounts of private amenity which lacks privacy and security.



Figure 61



Figure 62





## Residual Space

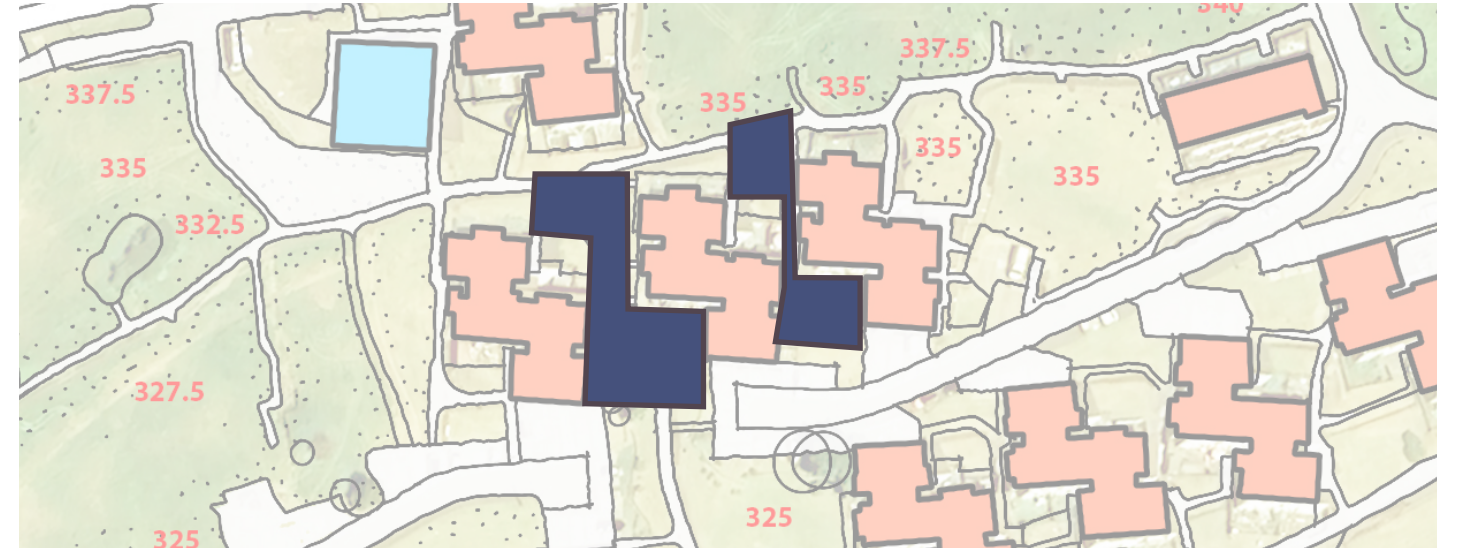
The space between blocks is left over and unconsidered, however it does provide opportunity for informal play space that is closely located to homes. Conversely this 'left-over' space can also be used for unwanted anti-social behaviour due to it's lack of natural surveillance.



Figure 63



Figure 64



## Opportunity for Play

Existing homes have variable amounts of private amenity which lacks privacy and security.

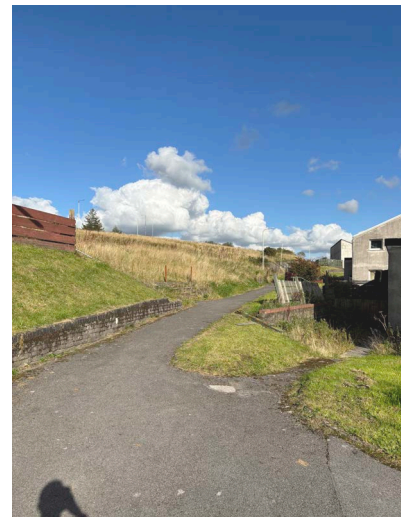
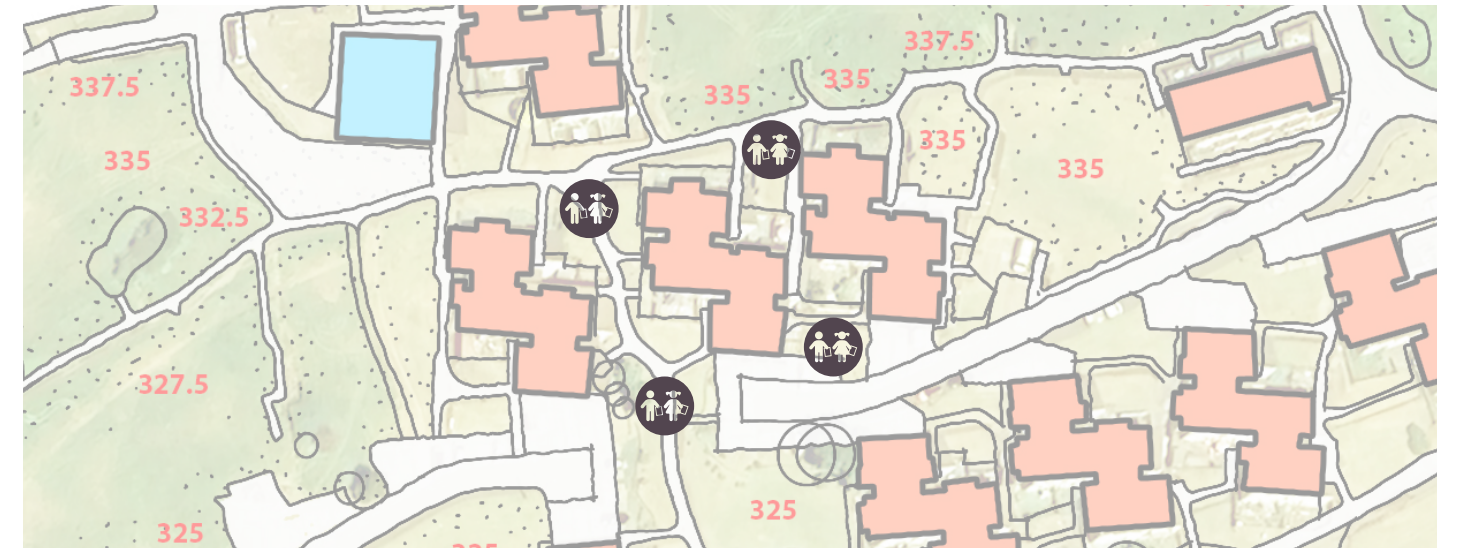


Figure 65



Figure 66

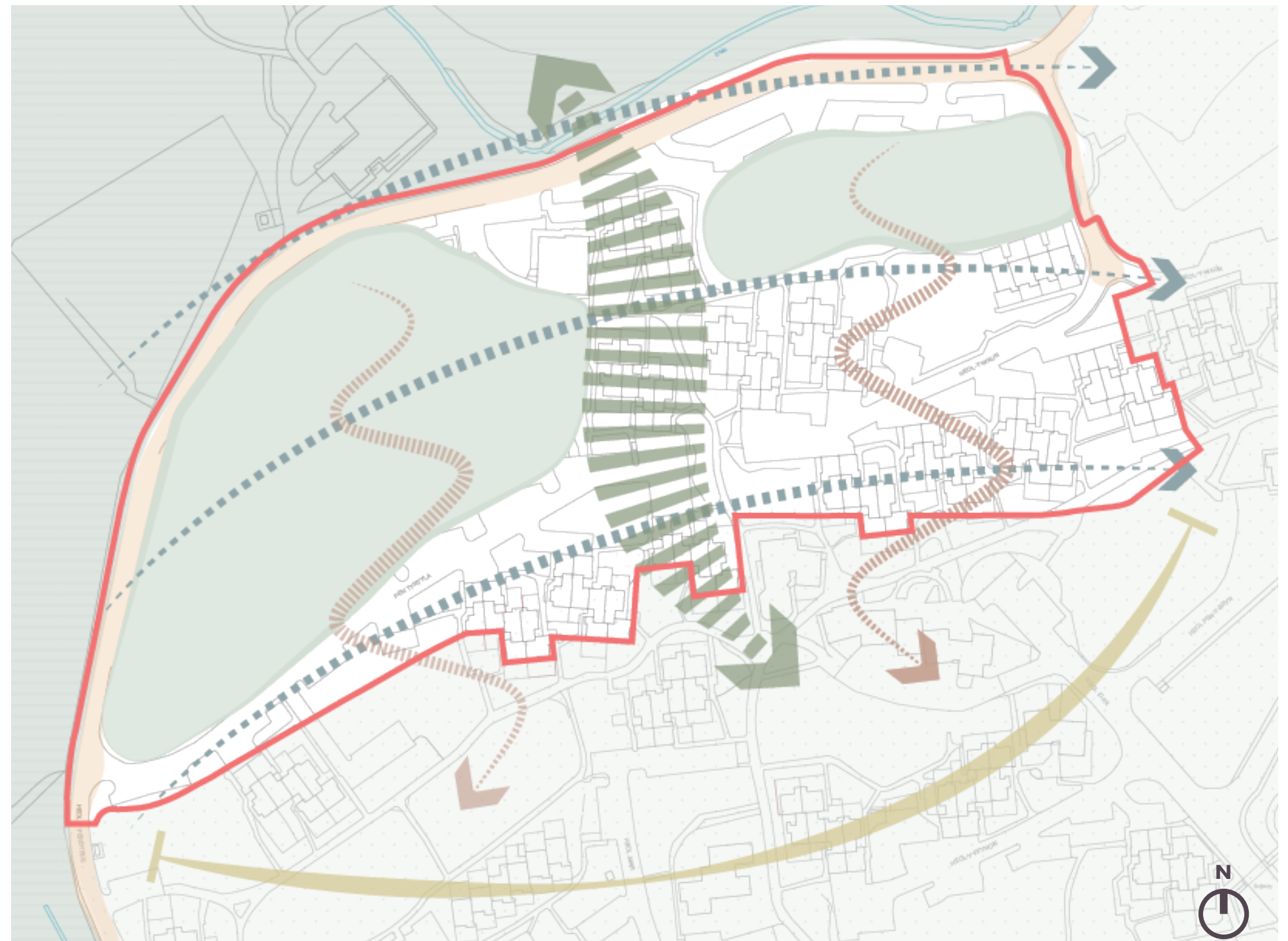
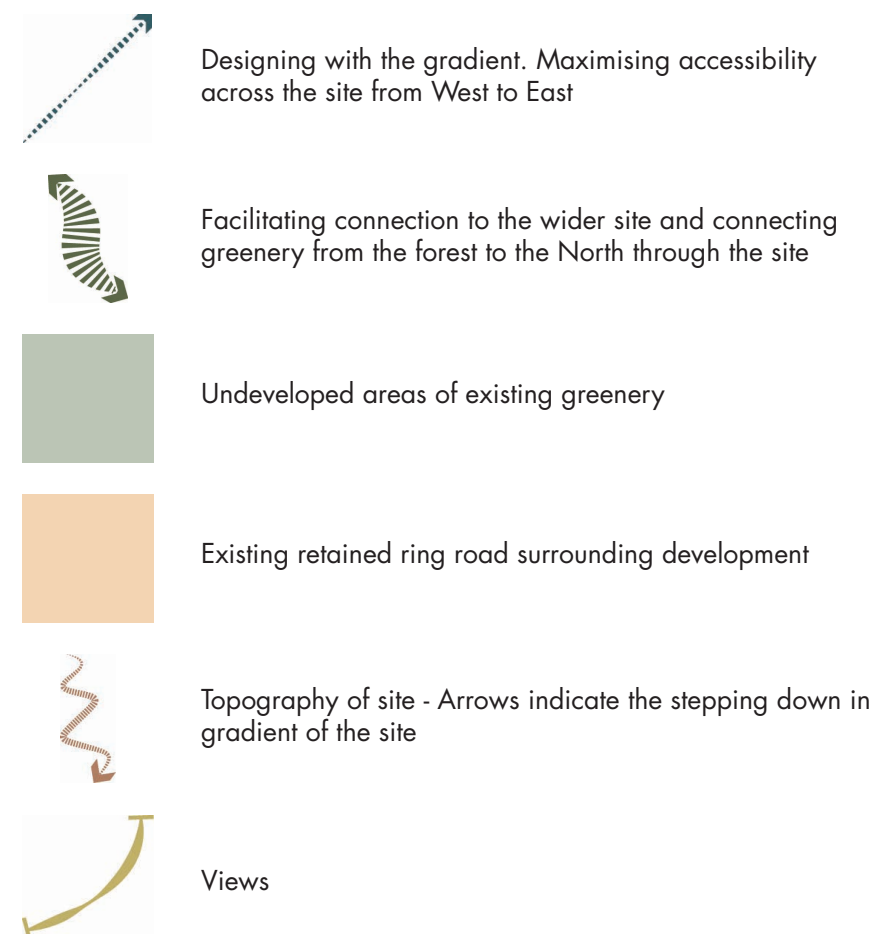




## 6.3 Opportunities

The site has many opportunities within the existing constraints and new opportunities when regenerating the estate.

The key opportunities for Phase 1A are utilising the steep gradient of the site as a positive asset to provide views to as many dwellings as possible, and provide East to West level access across the site.

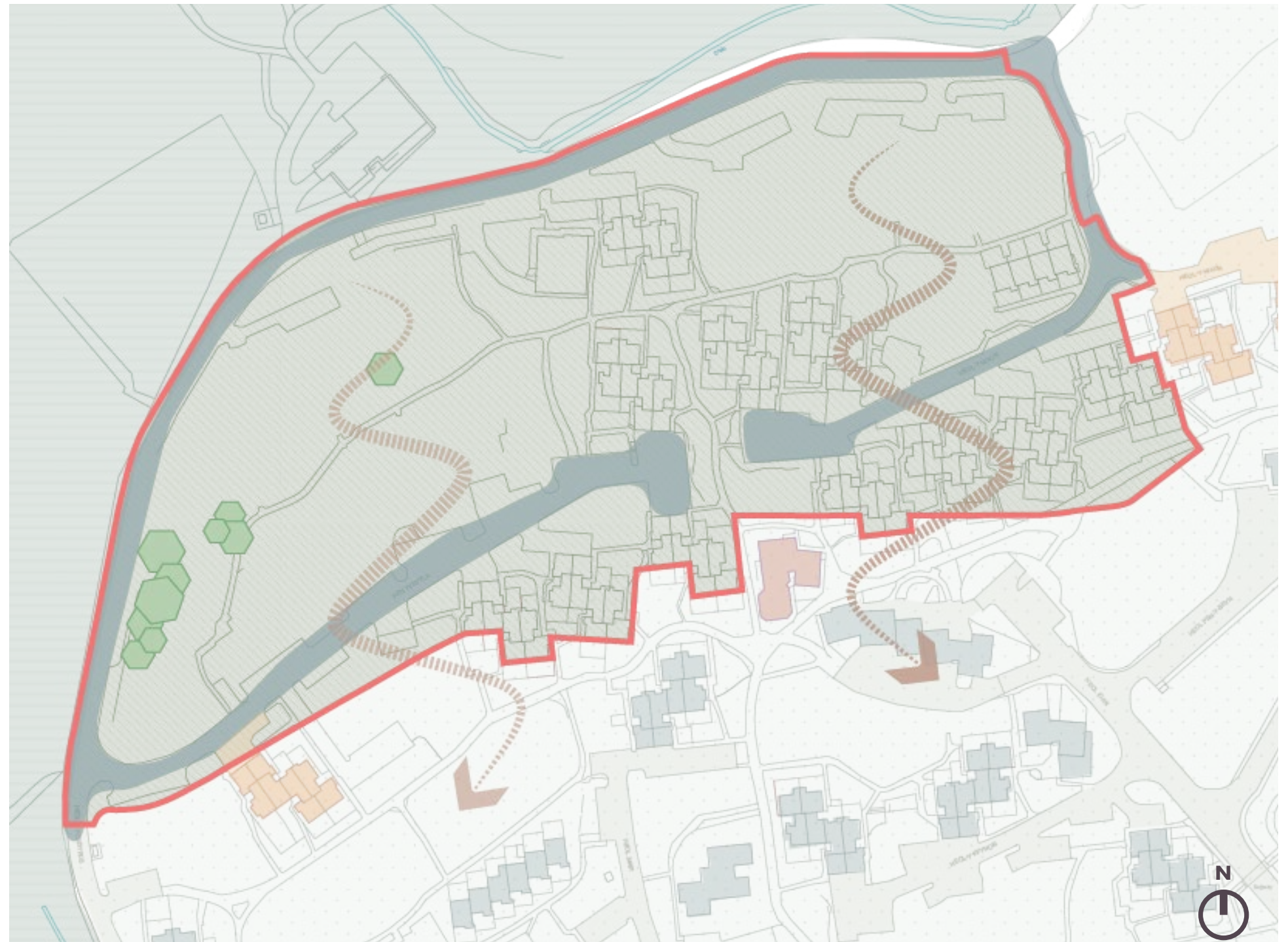




## 6.4 Constraints

The topography and working with the existing layout is the key constraint for Phase 1A.

-  Connections and relationship to the Church to be considered
-  Existing properties being retained have access through Phase 1A, requiring the existing road to be retained and operational.
-  Existing housing as part of the wider Penrhys site
-  Existing retained ring road surrounding development
-  Existing road that allows access into existing housing adjacent to site boundary
-  Existing road as part of the wider Penrhys site
-  Penrhys Phase 1A site area containing rockhead circa 1-2m below ground. Ground condition is made ground requires further investigation.
-  Existing trees





## 6.5 Topography & Geographic Nature

One of the key opportunities and constraints noted above was the gradient of the estate. Phase 1A in particular has the steepest gradient across the entire area.

The site is a steeply sloping site which falls from the North to the South by approximately 20m. This results in an average gradient of approximately 1:7. The challenges of the gradient form a large part of the design response for Phase 1A and creative methods of housing design.

From an ecological perspective the site offers a small number of trees - few of which are of good quality. On the whole the grassland is amenity grass, offering low species diversity, but towards the western side there are areas of neutral grassland - which offer greater ecological value. Clearly any loss of vegetation must be mitigated for as part of the planning application.

As many buildings have been demolished over the years, the made ground contains considerable rubble - which has made the area very popular with reptiles. Working with the ecologist, translocation will be a key part of the Green Infrastructure strategy.

Sites of Importance for Nature Conservation are located just beyond the red line boundary, meaning that green links through the new development are crucial to provide connections for wildlife. Consideration also needs to be given to reducing the fire risk in the surrounding habitats - which RCT have suggested would best be done through conservation grazing.

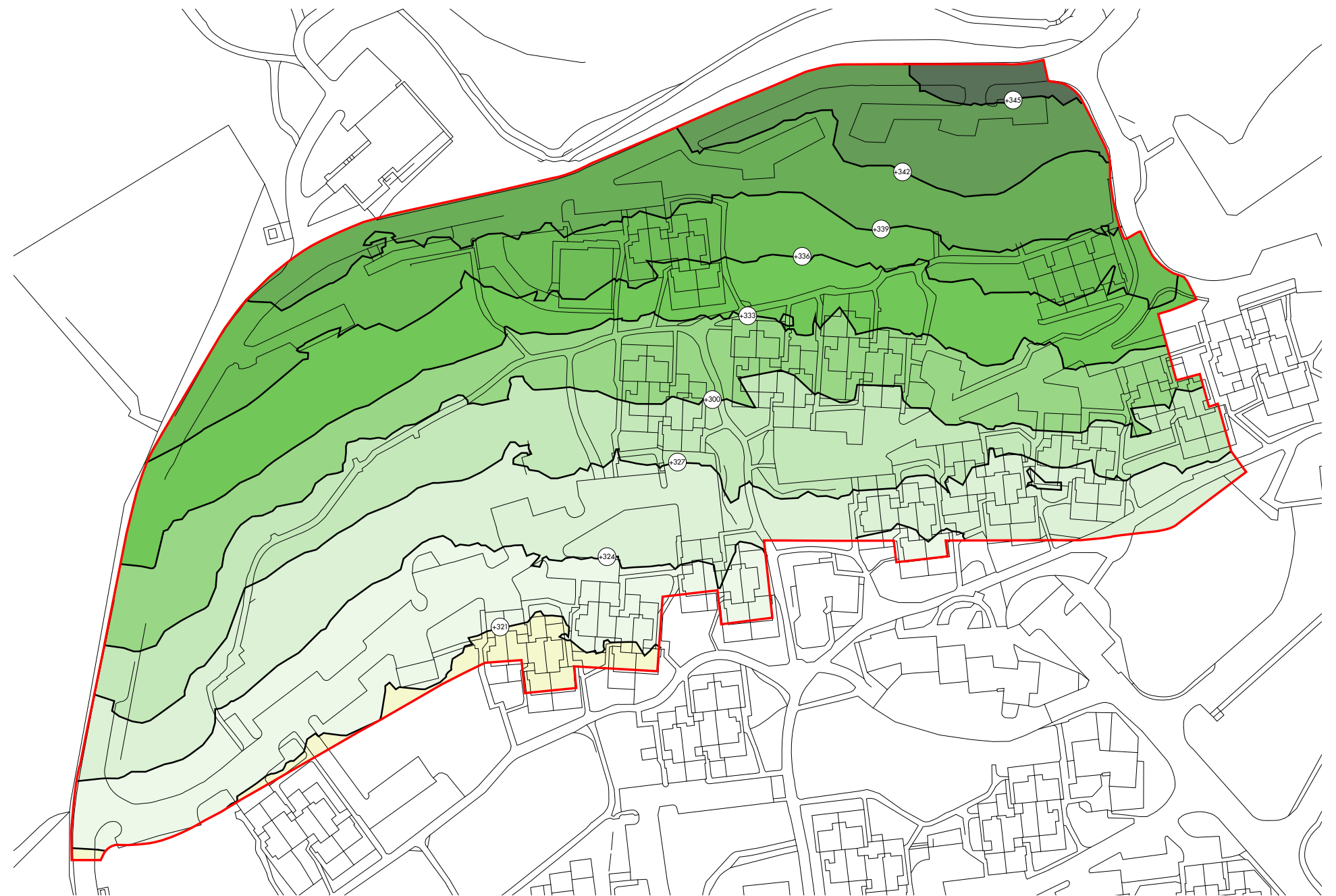


Diagram showing the topography to Phase 1A



## 6.6 Existing

### Local Context - Porth / Tonypandy / Ystrad

The material palette to the local area is varied and typical of the area.

A strong material palette of stonework, render and red brick is consistent across the traditional buildings of the area.

More contemporaneous 70s and 80s housing displays a lower quality facing brick.



Figure 67 - Tynycymmen Close, Porth



Figure 70 - Star Hotel, Ystrad



Figure 72 - Llwyncelin Road, Porth

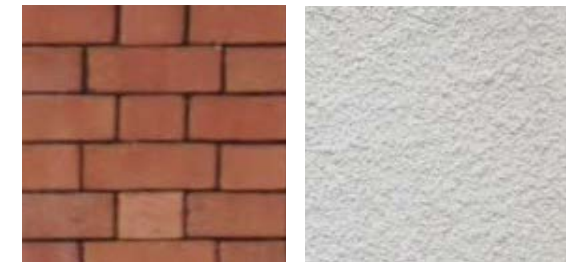


Figure 68 - Danycoed, Ystrad



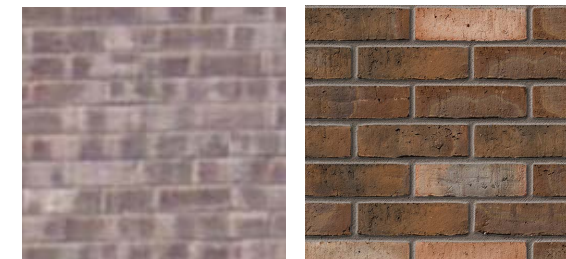
Figure 71 - Calfaria Welsh Calvinistic Chapel, Porth



Figure 73 - Penrhys Road, Ystrad



Figure 69 - Charles Street, Porth



The Calfaria Chapel in Porth playfully uses window frame colour to introduce warmth and decor around windows often provided by red brick.



## 6.7 Existing Local Context - Analysis

### Local Context Analysis

A study of nearby housing typologies reveals the use of stone, red brick, and often strong window detailing. These materials and elevational detailing are helpful to inform our design intentions for Penrhys.

### Traditional Terraced Cottage

Coursed stone external wall with strong textured stone window sill. Soldier course stone detail above door and windows. Slate tiled roof with simple white-framed sash windows.

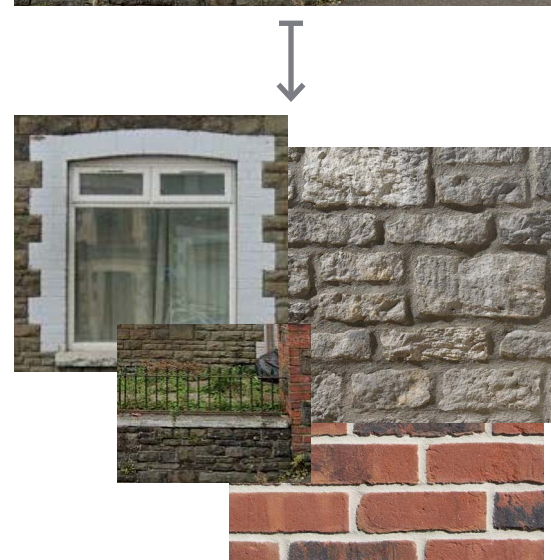
Figure 74



### Victorian Terrace

Natural Pennant stone with prominent ornamentation surrounding windows. Creating visual contrast against darker stone. Small stone wall topped with railing joining to red brick entrance pillars.

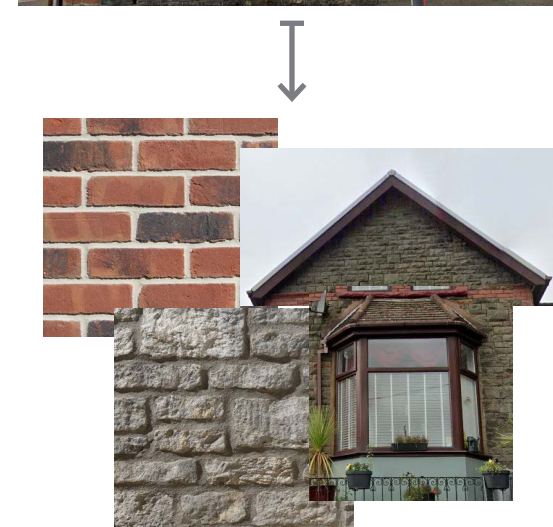
Figure 75



### Early 20th Century Semi-Detached

Predominantly rough stone with gable front and pitched roof. Red brick detailing surrounding upper windows and corners. Large bay window to ground floor.

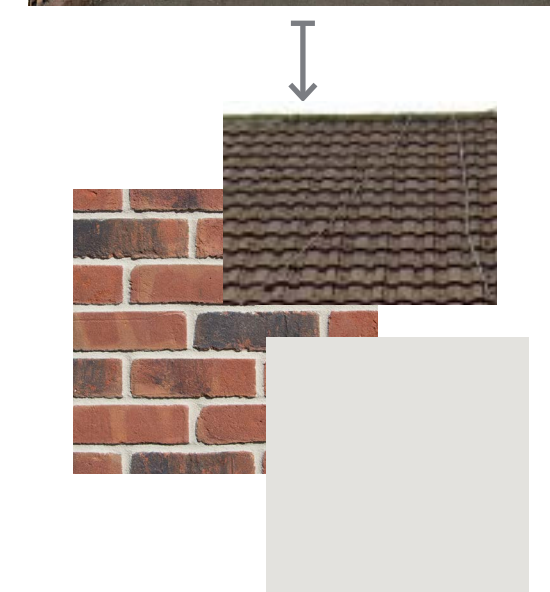
Figure 76



### Post-War Terrace

Combination of red brick and white render facade. Stripped-back formality with a clear material distinction between upper and lower levels.

Figure 77





## 6.8 Existing Local Colour Palette

Using the surrounding landscape an indication of the current natural palette can be created.

Using the surrounding landscape. A selection of earthy, green and natural tones have been selected to produce a local colour palette. These colours reflect a subtle, site-responsive framework for materials and finishes, echoing the natural character and tones of its surroundings.



Figure 78





## 6.9 Potential Materiality

Bring together contextual references from both the colours and textures used historically in the region and those in the landscape we can propose a material palette which references local context but also has potential for a more contemporary application.

### Brick

The brick selection proposed references both existing brick colours used in the local context and also some colours influenced by tones found within the natural landscape.

### Stone

The stone selection references the colours found within the existing stone used in many of the current facade treatments. A selection of man-made alternatives to natural stone are suggested here as economically feasible options for select locations.

### Roof

Roof tiles take cues from the surrounding context, with the inclusion of a muted terracotta option that could help soften the development's presence within the landscape.

### Cladding

Cladding offers a contemporary alternative to what is seen locally. This is a good alternative due to its reliance within the exposed setting of the site while providing opportunity for colour and contrast to the masonry options.

Brick



Stone



Roof



Cladding





# **7 Design Development**



## 7.1 Design Development Design Concept

The constraints and opportunities diagrams have identified the general framework the design needs to consider, and the site masterplan gives an additional level of information to refine the layout.

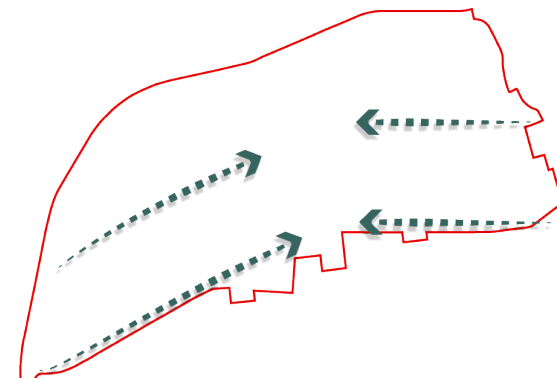
The three main considerations which inform the Phase 1A layout are the existing ring road being retained, facilitating East to West accessible routes for pedestrians and the North to South green corridor link tracking through the centre of Phase 1A.

This results in four development parcels within Phase 1A, identified in the diagrams.



### Retention of the existing ring road

The existing ring road around the entire estate is to be retained and provides vehicular access to all phases, creating a unique opportunity for the centre of the development to focus on providing vehicular free routes.



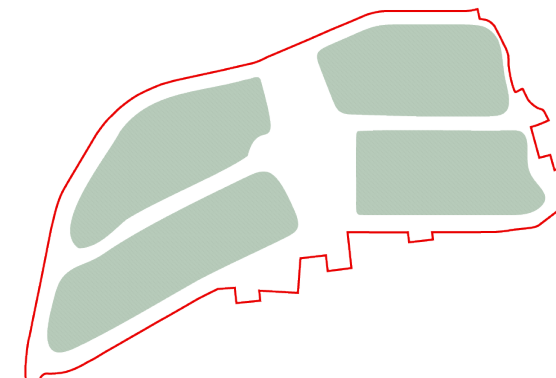
### East to West accessible pedestrian connections

The steep gradient of the site results in the North to South accessible routes being challenging outside of the two green corridors, therefore to ensure ease of movement the East to West routes will be accessible.



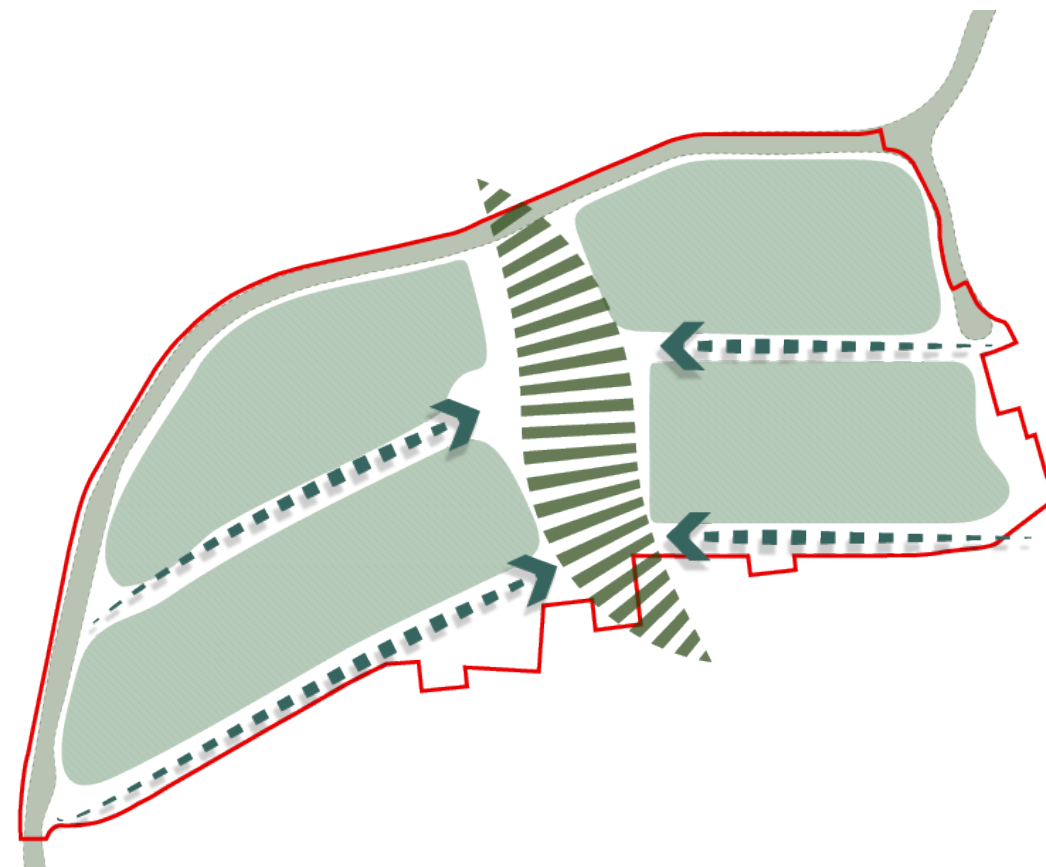
### North to South green corridor

The wider masterplan sets the principle of a North to South green corridor across the entire estate, part of this corridor runs through middle of Phase 1A.



### Developable area

Once the three key movements of the ring road, green corridor and pedestrian connections are overlaid on Phase 1A, the result is four developable areas.



### Concept layout for Phase 1A

Overlaying all four key moves to a single plan results in the initial concept layout which has informed the layout for Phase 1A, in consideration with the previously noted opportunities and constraints.



## 7.2 Design Development

The initial design options were based on the key masterplan principles including the green route and development parcels following the topography.

The main issues encountered are:

### Roads - North to South

Good practice in highway design is to not exceed a gradient of 1:12. Given the topography of the site, many of the North-South road connections exceeded this gradient limit.

### Turning Heads

Increase in Roads east to west result in multiple turning heads overlooking to the green route.

### Security

With trying to optimise the site, many of the options with more than one road in the center resulted in roads abutting back gardens, which is a security concern and given the history of the site should be avoided.

-  Turning Head
-  Road exceeds 1:12 gradient
-  Roads abutting back gardens



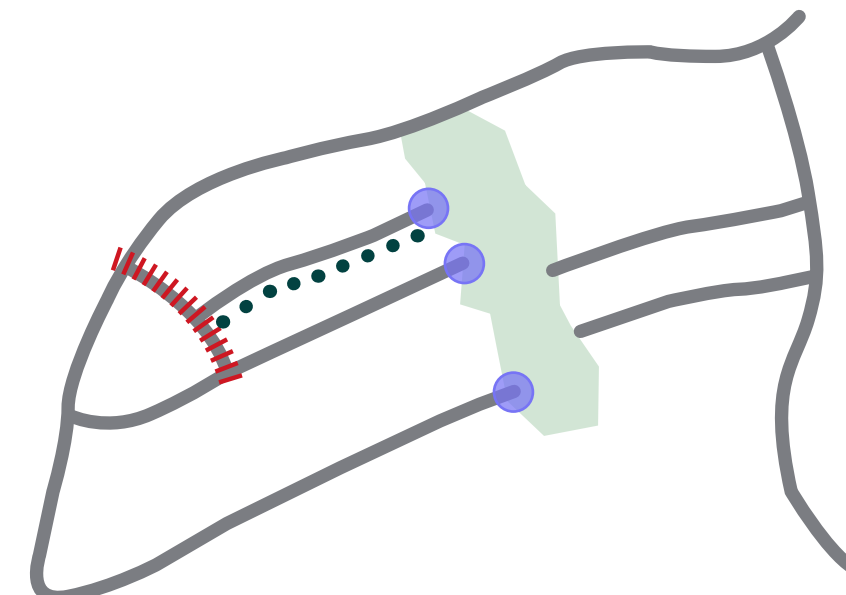
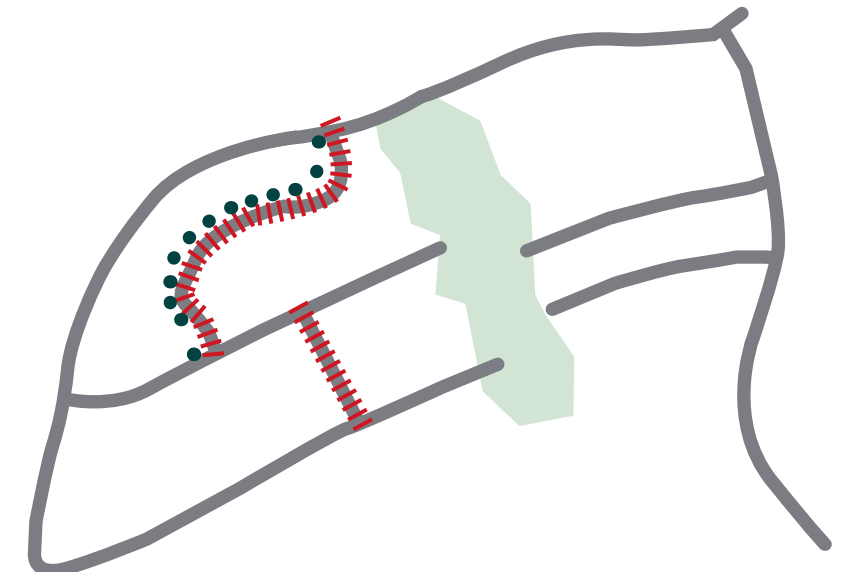
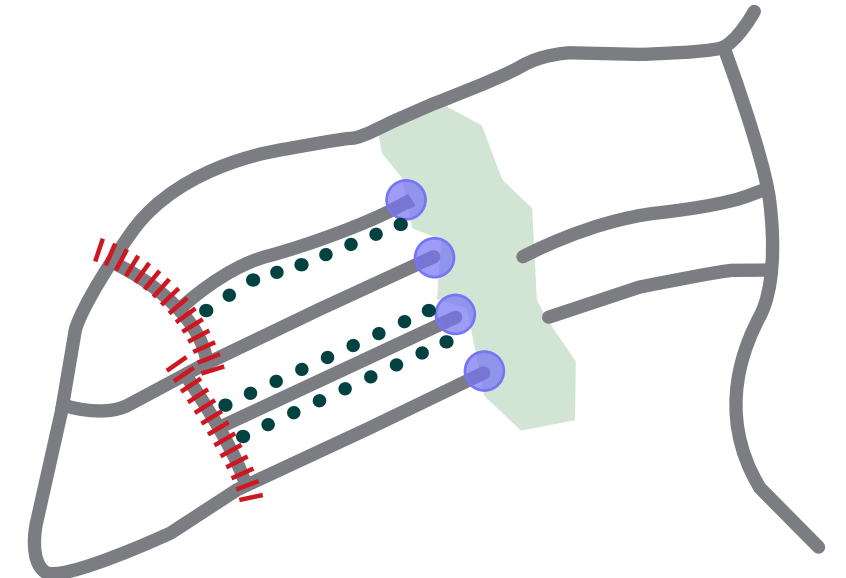
Option 1



Option 2



Option 3





## 7.3 Design Development

Indicative site sections that correspond to the previous site plan options highlighted further design principles.

### 1 - Back gardens abutting a road

Overlooking from pedestrian route abutting a garden results in potential security issues.

### 2 - Large retaining structures

Overbearing retaining structures (exceeding 3 meters) used in order to tackle the topography of the site should be avoided. There would use a large amount of cut-and-fill to be achieved and are domineering.

### 3 - 'Non-standard' gardens

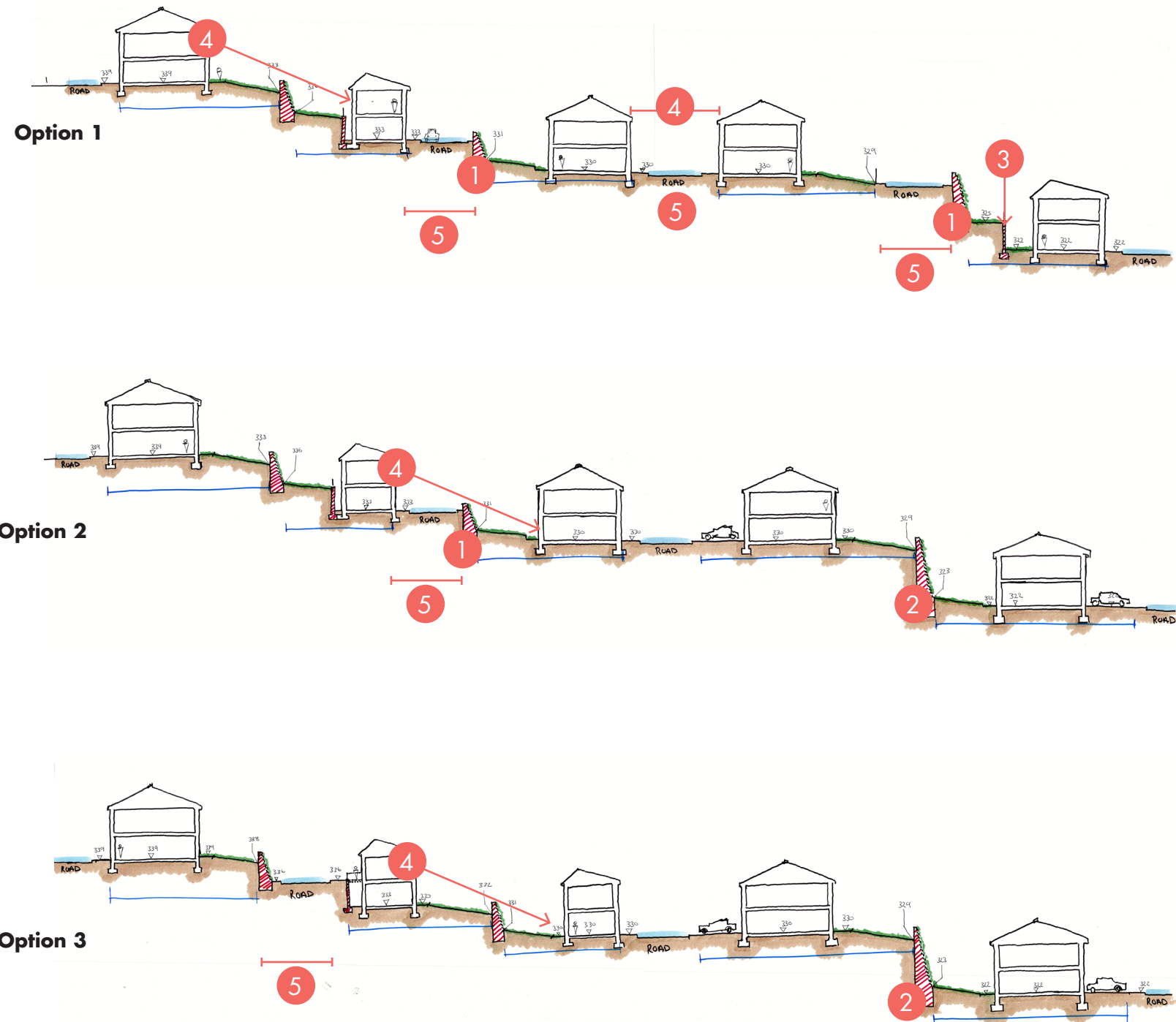
There is an opportunity in the gardens to take some of the level change through a stepped section.

### 4 - Property distances

Increasing the roads East to West results in reduced property distances, which increases potential overlooking; this is then exacerbated by the steep topography of the site.

### 5 - Off-plot parking opportunity

Increasing the roads East to West results in less opportunity for off-plot parking, as the road would become too wide. Thereby, this reduces the potential quantum of the scheme, as parking would be moved besides or integrated into the houses.





## **8 Proposed Design**



## 8.1 Proposed Design Key Principles

Following on from our analysis of the existing site, feedback from existing residents, the landowner and client our principles for redevelopment are as follows:

### Topography

Utilise and work with the topography where possible to improve access conditions.



### Proximity Parking

Community engagement has provided us with strong feedback that the residents are looking for parking next to or close to their homes. We are looking to provide a variety of solutions including on plot, parallel and perpendicular street parking and a limited number of garages for private homes.



### Facilitate Level Access

Facilitate 1:21 connections across the site E-W and level connections from parking to the house where possible step free.



### Play Space

Whilst vehicular access to the homes is important, balance this with creation of small spaces for resident interaction and play.



### Improving Route Accessibility

Create a lattice of routes through the site to improve accessibility within the constraints of the topography.



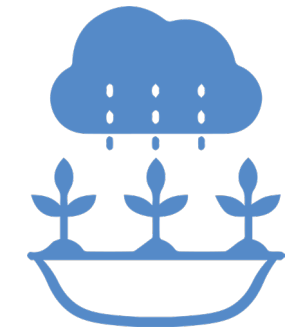
### Traditional Street Morphology

Create homes which are based on a more traditional street morphology with front doors facing front doors and where homes are located on edges of green spaces, front doors and active facades provide natural surveillance to these spaces.



### Blue Infrastructure

Make space for blue infrastructure throughout the site.



### Ecology

Enhancing the local ecology through various interventions integrated throughout the proposal.





## 8.2 Proposed Site Plan

### The Proposal

Through public engagement, coordination and design the final Phase 1A site layout is as shown.

The layout has been designed around the eight key principles noted on the previous page, and the following pages highlight how these principles have been incorporated in to the design.

The proposal has utilised the Tai Ar Y Cyd house types from the Pattern Book, with various alterations to the house type to ensure they are suitable for use on this constrained site.





## 8.3 Proposed Site Plan

Application of Key Principles



Topography



Facilitate Level Access



Improving Route Accessibility



Blue Infrastructure







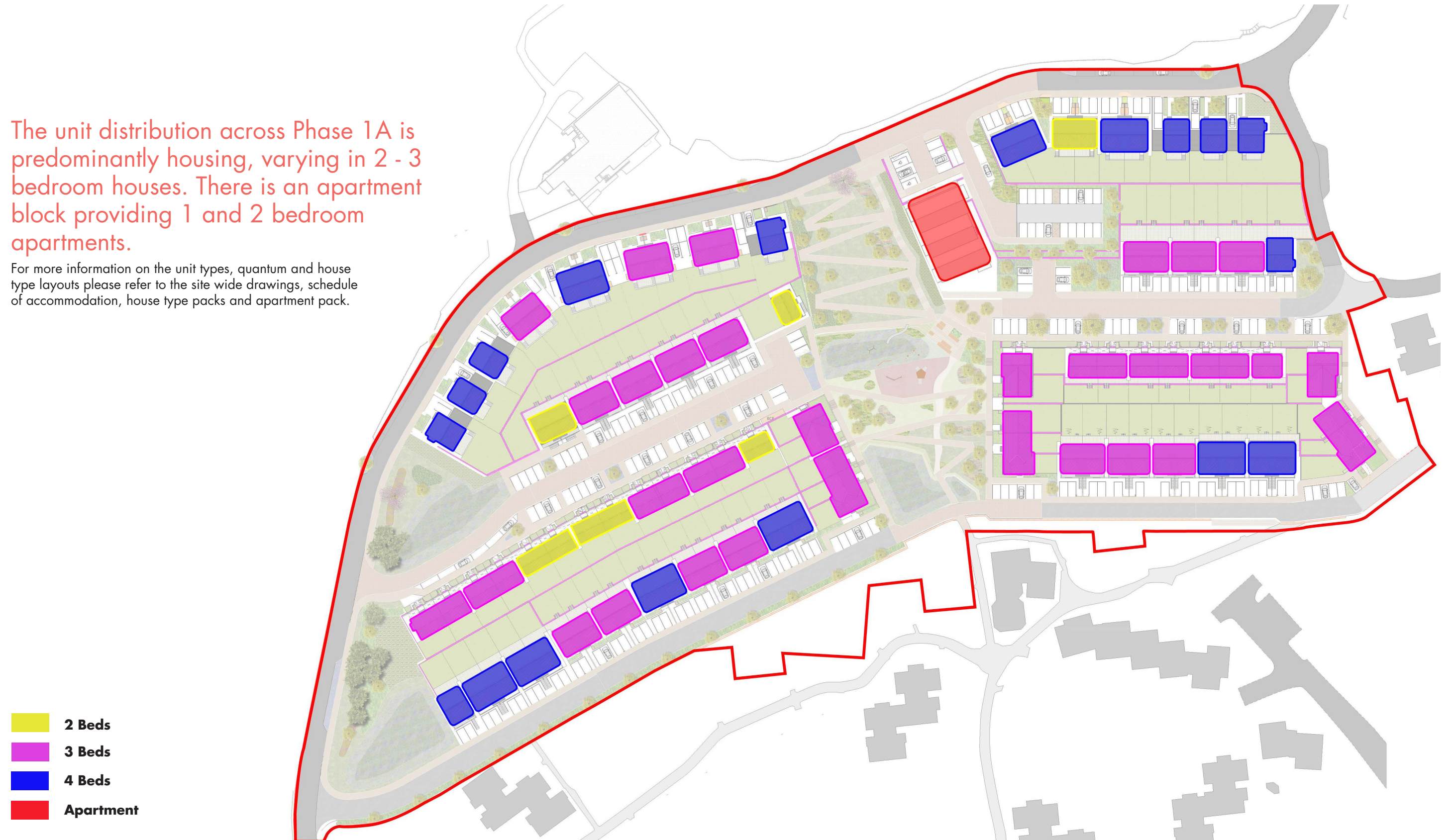


## 8.4 Proposal Analysis

### Unit Type Distribution

The unit distribution across Phase 1A is predominantly housing, varying in 2 - 3 bedroom houses. There is an apartment block providing 1 and 2 bedroom apartments.

For more information on the unit types, quantum and house type layouts please refer to the site wide drawings, schedule of accommodation, house type packs and apartment pack.

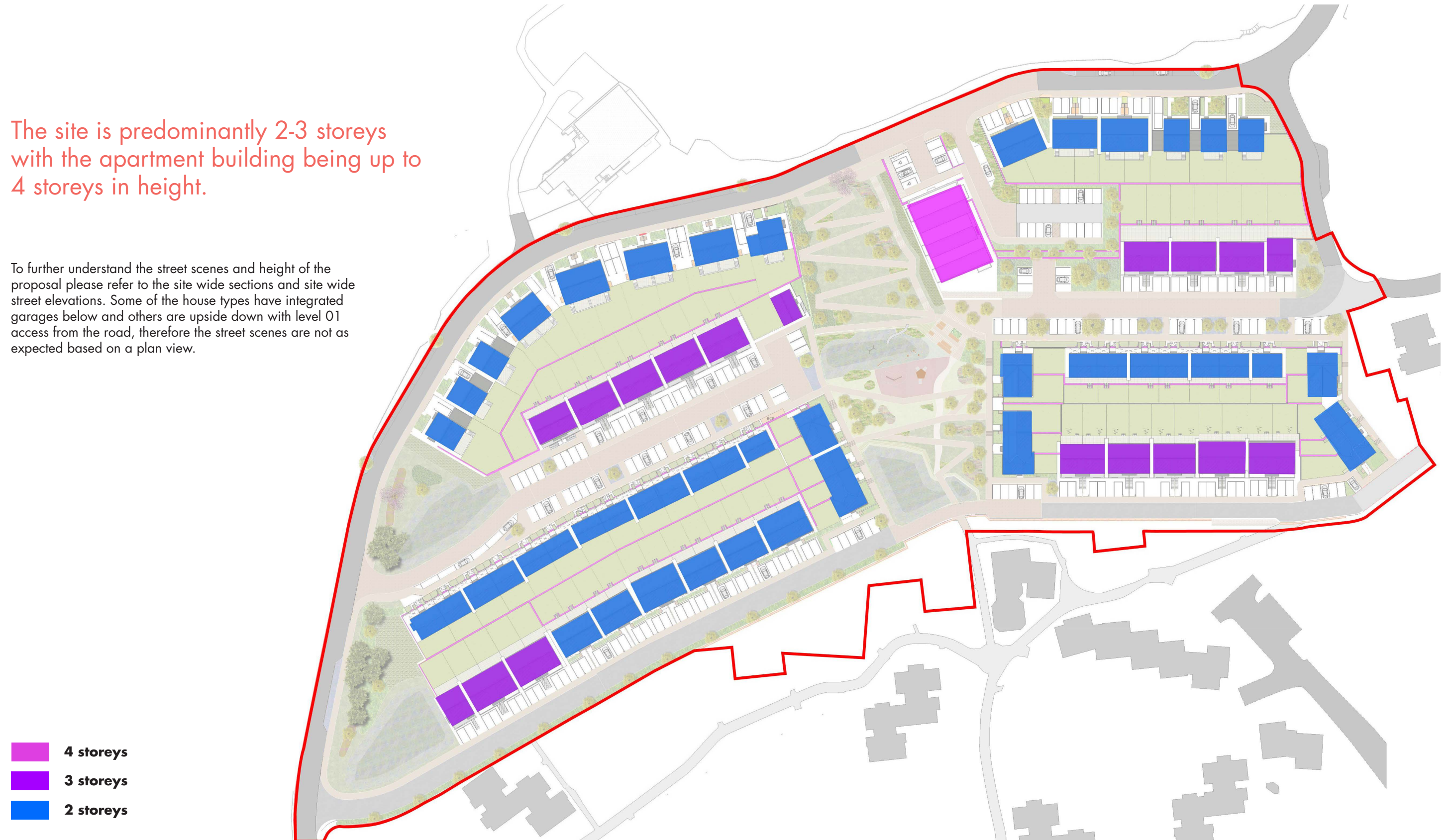




## 8.5 Proposal Analysis Scale

The site is predominantly 2-3 storeys with the apartment building being up to 4 storeys in height.

To further understand the street scenes and height of the proposal please refer to the site wide sections and site wide street elevations. Some of the house types have integrated garages below and others are upside down with level 01 access from the road, therefore the street scenes are not as expected based on a plan view.





## 8.6 **Proposal Analysis** Materials

Page to be added following the PAC process and prior to the planning submission.



## 8.7 Proposal Analysis

### Natural Surveillance

To ensure we are utilising all opportunities for natural surveillance we have considered several aspects of the design.

We are providing corner turning houses on the ends of runs, which will have additional fenestration to provide natural surveillance on to the public space.

The apartment building has habitable rooms facing outwards from all 4 sides, along with balconies to three sides of the building.

Properties have been turned to face the greenway to provide high levels of natural surveillance, responding to community feedback wanting to ensure public realm areas are safe and secure for play.





## 8.8 **Proposal Analysis** Wayfinding

Page to be added following the PAC process and prior to the planning submission.



## 8.9 **Proposal Analysis** Access

Page to be added following the PAC process and prior to the planning submission.



## 8.10 Proposal Analysis

### Refuse Strategy

The refuse strategy was one of the key discussion points with residents and a topic which needed to be addressed successfully in the proposal.

All of the houses to the proposal will either have dedicated refuse storage areas within the garages or integrated refuse stores to the fronts of properties. Houses which face on to the central green space will have bin collection points to the North / South of the housing runs (as noted on the plan).

The refuse stores have been sized to ensure they can store standard sized wheelie bins. RCT current refuse policy is black and blue bags only, with no wheelie bins storage. However ensuring the stores could facilitate a wheelie bin will future proof the development if policy changes in the future.

The apartment building will have a separate externally covered refuse store for all the apartments.

The refuse vehicle routes are noted on the diagram.





## 8.11 Proposal Analysis

### Cycle Storage

To assist with encouraging sustainable methods of transport, all of the dwellings will have secure cycle storage which will be of SBD standards.

All of the houses to the proposal will either have dedicated cycle storage areas within the garages, integrated cycle storage stores to the fronts of properties or dedicated space to sheds in the rear gardens of properties.





## 8.12 Proposal Analysis

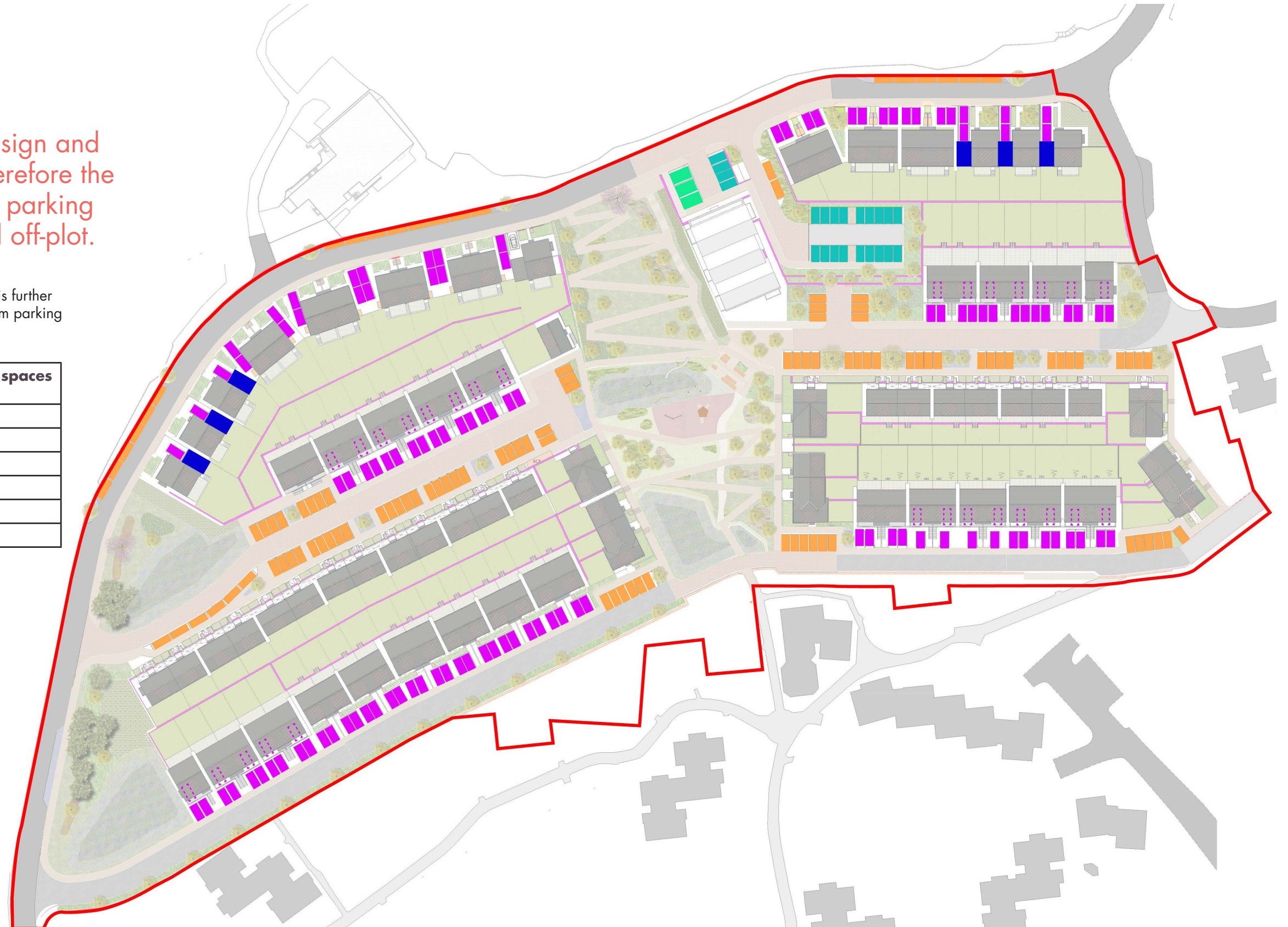
### Vehicular Parking

Balancing parking with design and site layout is important, therefore the proposal offers a range of parking types; garage, on-plot and off-plot.

The provision of parking and transport strategy is further elaborated within the transport note. The minimum parking provision for the proposal is as noted below.

Beds	Persons	Proposed parking spaces per unit
Apartments		1
2	4	1
3	4	2
3	5	2
4	6	2
4	7	3

- On-plot
- Garage
- Off-plot
- Apartment standard
- Apartment accessible



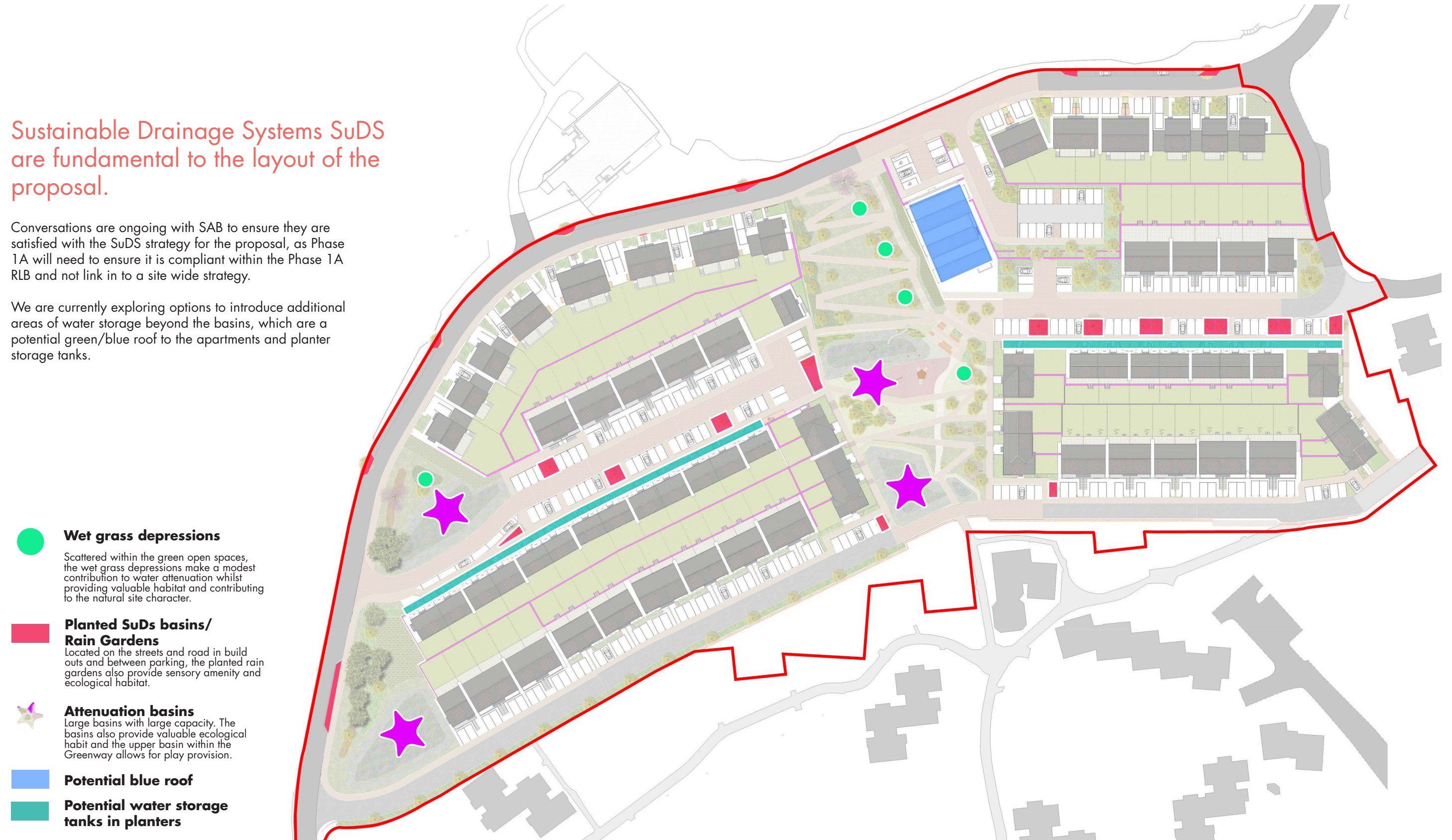


## 8.13 Proposal Analysis SuDS

Sustainable Drainage Systems SuDS are fundamental to the layout of the proposal.

Conversations are ongoing with SAB to ensure they are satisfied with the SuDS strategy for the proposal, as Phase 1A will need to ensure it is compliant within the Phase 1A RLB and not link in to a site wide strategy.

We are currently exploring options to introduce additional areas of water storage beyond the basins, which are a potential green/blue roof to the apartments and planter storage tanks.





## 8.14 Proposal Analysis

### Potential PV locations

There will be provision of PV's on the development, the quantum and locations are currently being finalised.

The diagram opposite highlights the potential locations for PV's across the development, fortunately due to the site layout a large number of the roof profiles are North / South facing therefore orientated correctly to maximise solar generation.





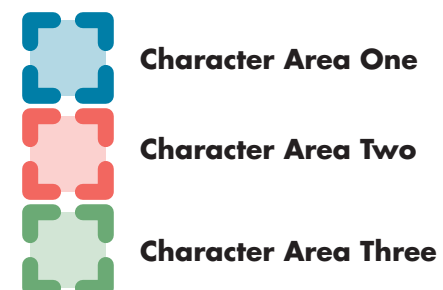
## 8.15 Character Areas

Penrhys historically prides itself on not being a traditional valleys village. To respond to residents' feedback, we will take inspiration from neighbouring developments in the Welsh valleys, however, take design elements and explore their use in a more contemporary manner within Penrhys.

Phase 1A contains circa 121 homes, therefore, to ensure high quality design and variety throughout the phase we have introduced three character areas. The three areas will vary in character however they will utilise a similar material palette to ensure a cohesive design.

The following pages explore the types of features and materials that are to be used across the three character areas, with some precedent examples of as built houses to provide a clearer intention as to the design vision.

The following pages identify the various elevational treatment intended for key house types within each of the three character areas.





## 8.16 Character Area



### Character Area One

The character to area one will be the most traditional of the three, however it will still aspire to be more contemporary than 'traditional' housing developments.

Methods in which this will be achieved are noted below and highlighted in elevation sketches on the following pages.

- To introduce breaks to the roof lines along the ring road, we are proposing that garages have a parapet wall facing the ring road, with a mono-pitch roof behind.
- Use of contrasting bricks (either one colour from a multi palette or potentially a glazed brick) in small amounts to the facade. The types of patterns and laying styles are currently being developed. Due to the extreme weather conditions in the area, we are not proposing any stepping of bricks due to potential poor weathering to facades.
- Introduction of parapet roof abutment details to various house types.
- Pre-cast surrounds to windows, responding to the typical brick surround detail found in the area, however with a contemporary approach.
- Utilising the vertical element between semi-detached properties entrances to use perforated laser cut metal, a detail which will be used in various methods across all three character areas.
- Introduce small gables to the fronts of houses to reduce the repetitive nature of the current roof profiles, an element of the design derived from the site constraints. Utilising this where possible to houses with the entrances facing South, to break the appearance of roofs from long distance views of the site.



### Character Area Two

Character area two is intended to be a bridge between one and three, to enable a seamless aesthetic transition between either character area.

Methods in which this will be achieved are noted below and highlighted in elevation sketches on the following pages.

- Use of contrasting bricks (either one colour from a multi palette or potentially a glazed brick) in more expansive amounts to the facade in comparison to character area one. The types of patterns and laying styles are currently being developed. Due to the extreme weather conditions in the area, we are not proposing any stepping of bricks due to potential poor weathering to facades.
- Window to surrounds to be more contemporary by using brick surrounds in various patterns and laying styles, with the potential for contrasting brick colours. Utilising the same bricks for vertical headers to windows.
- Of the homes which have stepped access or garages below, explore a contrasting material to the base in comparison to the house type above. On a street scene, the lower element will read as one facade and the stepped back houses above another.
- Utilising the vertical element between semi-detached properties entrances to use perforated laser cut metal, a detail which will be used in various methods across all three character areas.
- Using the perforated laser cut panels to balustrades and around canopies. Exploring the use of house numbering being applied to the panels.
- Introduce small gables to the fronts of houses to reduce the repetitive nature of the current roof profiles, an element of the design derived from the site constraints. Utilising this where possible to houses with the entrances facing South, to break the appearance of roofs from long distance views of the site.



### Character Area Three

Character area three is surrounding the public realm green space, and the area to the East will be similar, once future phases are developed. Therefore, framing the public realm with high-quality architecture will help create an engaging and exciting public realm.

The various house types facing along the green space are only using in these areas along with the apartment block, therefore there is more scope to look at this character area in a more contemporary approach than areas one and two.

Methods in which this will be achieved are noted below and highlighted in elevation sketches on the following pages.

- Use of contrasting bricks (either one colour from a multi palette or potentially a glazed brick) in more expansive amounts to the facade in comparison to character area one. The types of patterns and laying styles are currently being developed. Due to the extreme weather conditions in the area, we are not proposing any stepping of bricks due to potential poor weathering to facades.
- Opportunity to use alternating brick types to houses, ensuring all the bricks proposed are used in other areas of Phase 1A.
- Window to surrounds to be more contemporary by using brick surrounds in variations patterns and laying styles, with the potential for contrasting brick colours. Utilising the same bricks for vertical headers to windows.
- Utilising the vertical element between semi-detached properties entrances to use perforated laser cut metal, a detail which will be used in various methods across all three character areas.
- Using the perforated laser cut panels to balustrades and around canopies. Exploring the use of house numbering being applied to the panels.



## 8.17 Character Area Elevational Treatment

Precedent examples for each of the character areas being proposed are noted below.

### Character Area One



Figure 78



Figure 79



Figure 80

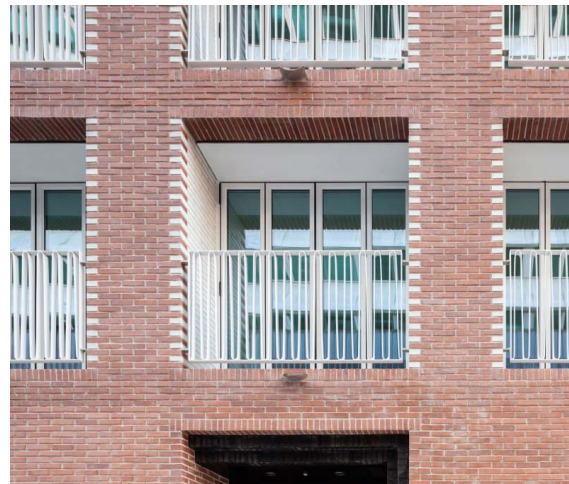


Figure 81



Figure 82

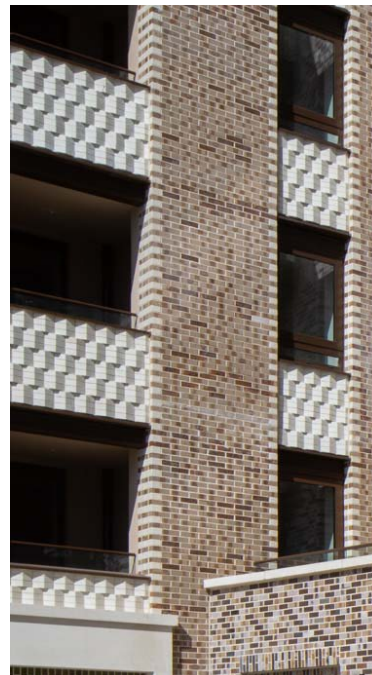


Figure 83

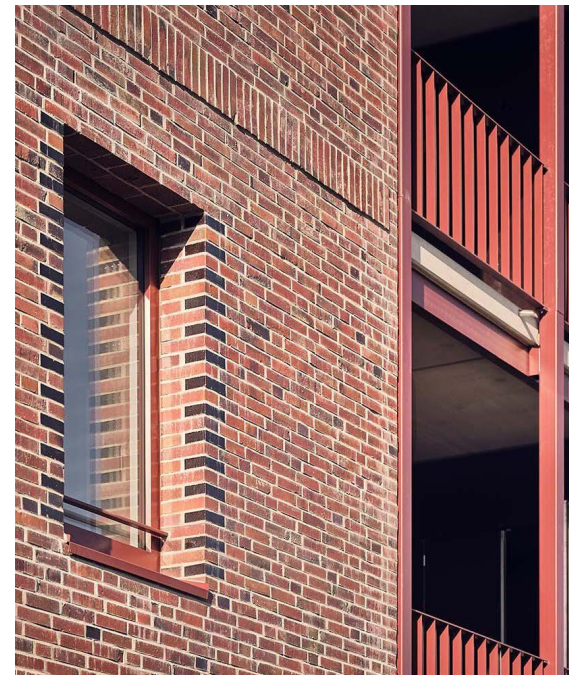


Figure 84

### Character Area Three



Figure 85

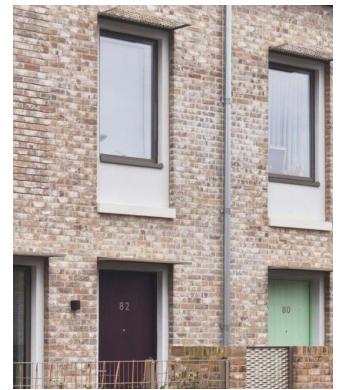


Figure 86

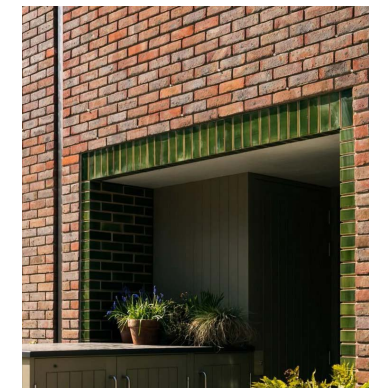


Figure 87



Figure 88



Figure 89



## 8.18 Character Area Materiality

Precedent examples for each of the character areas being proposed are noted below.

### Character Area One

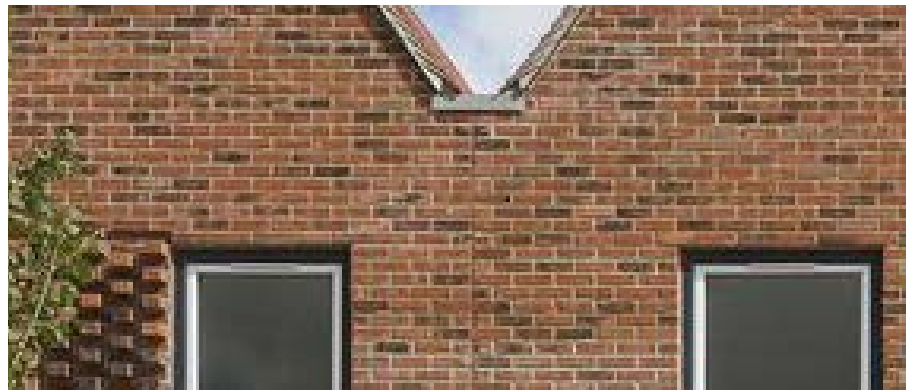


Figure 90



Figure 91



Figure 92



Figure 93



Figure 94



Figure 95

### Character Area Two

### Character Area Three



Figure 96



Figure 97



Figure 98



Figure 99



Figure 100



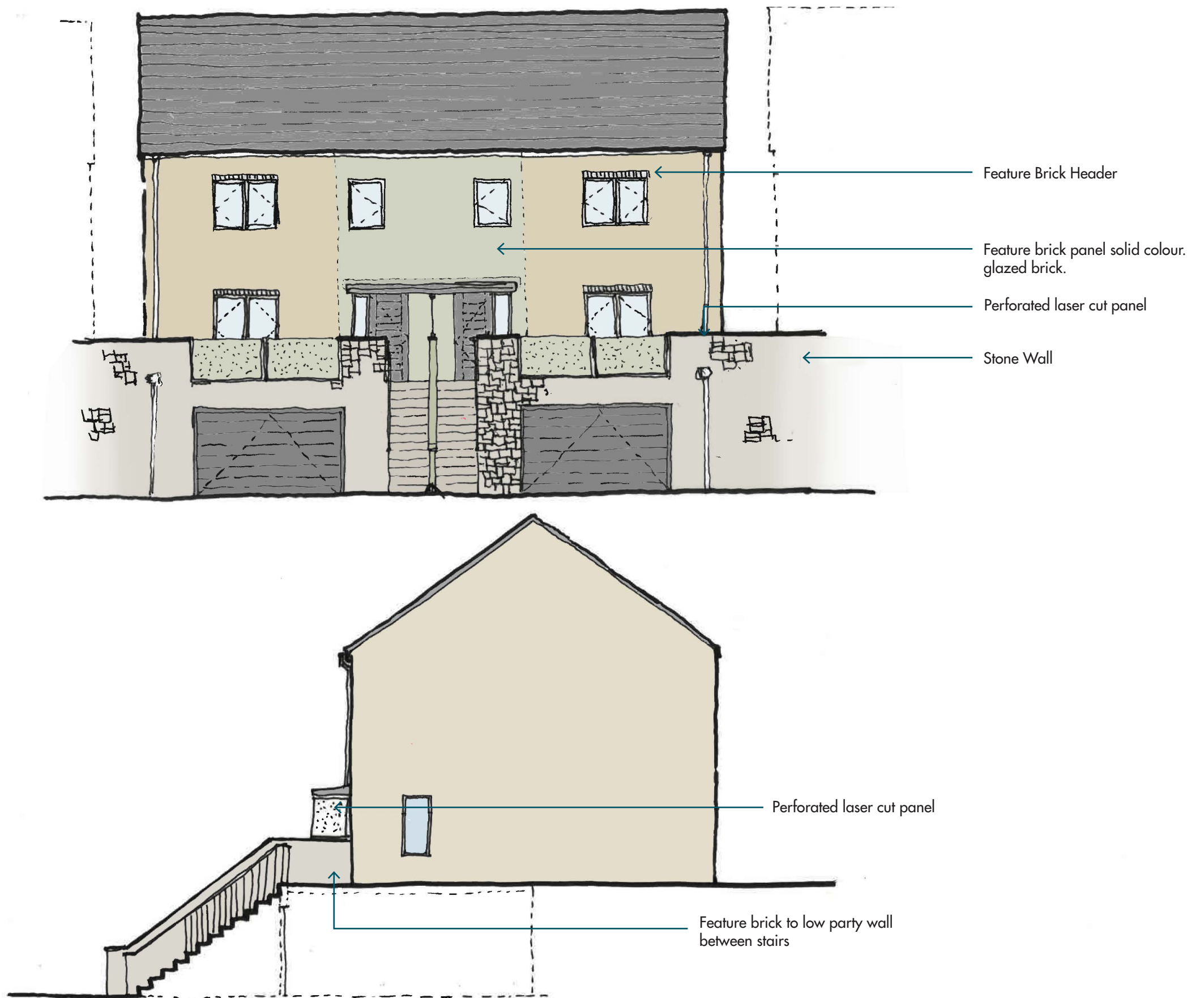
8.19 **Example House A**  
**Character Area One**





## 8.20 Example House B - Option One

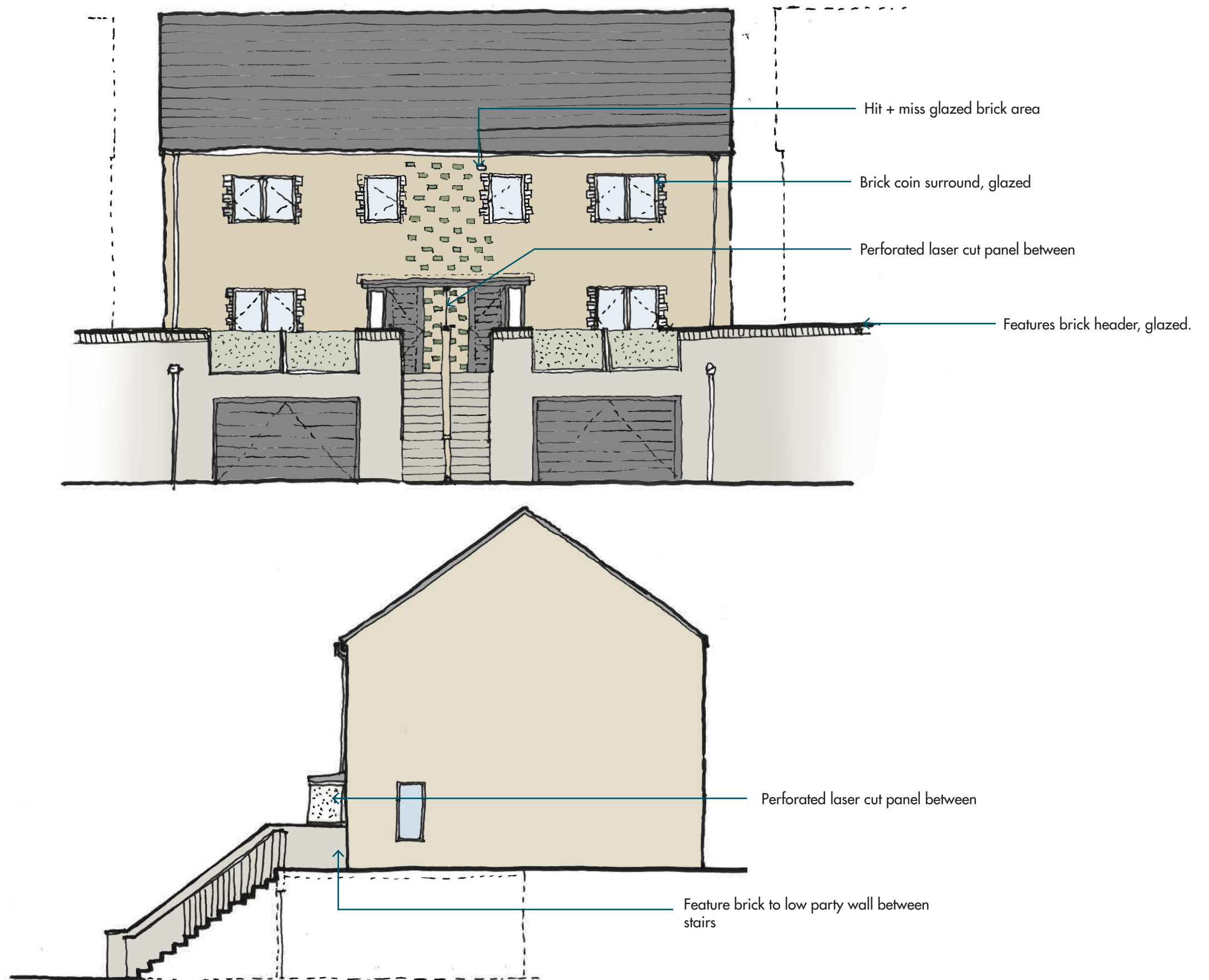
### Character Area Two





## 8.21 Example House B - Option Two

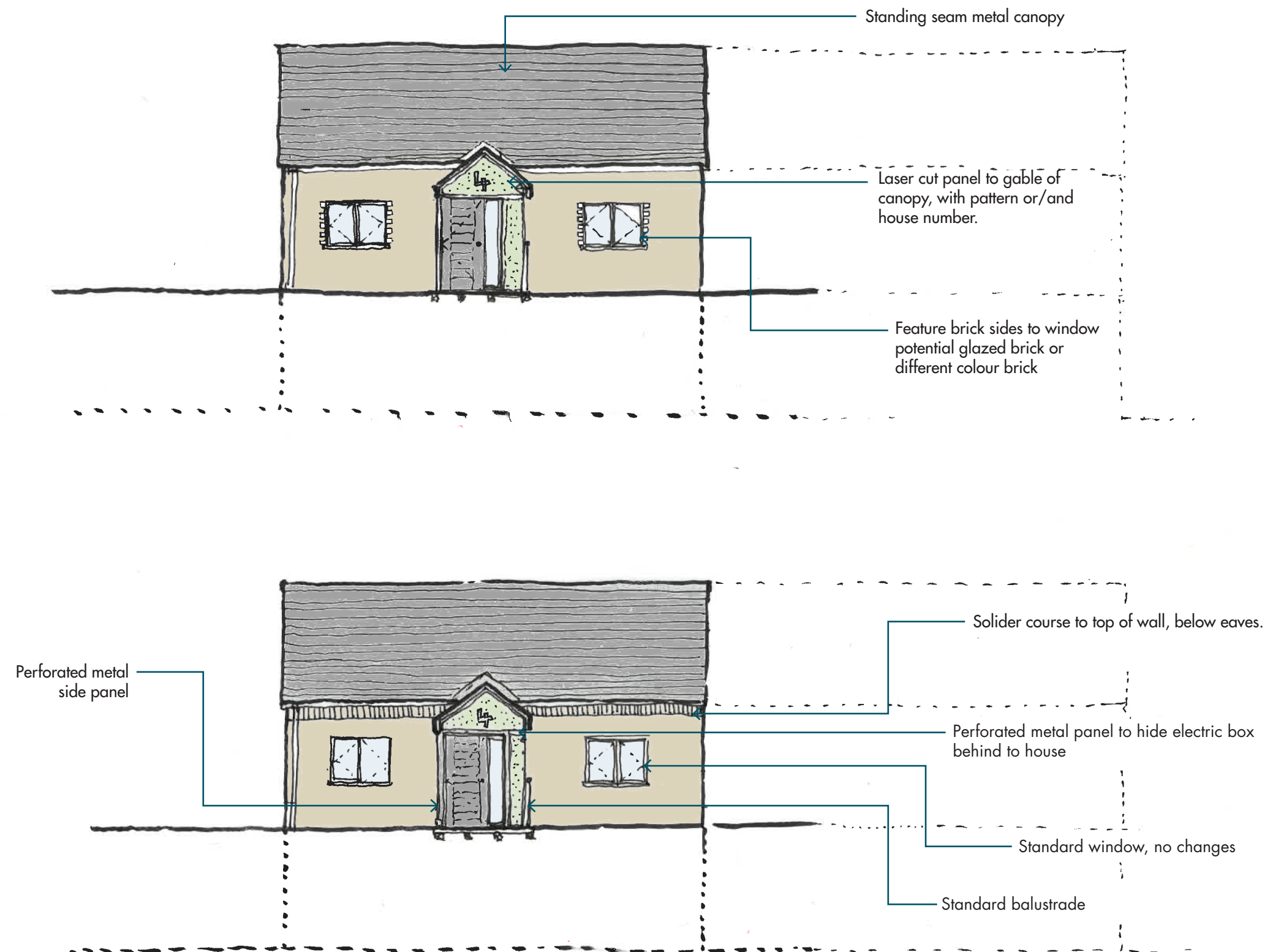
### Character Area Two





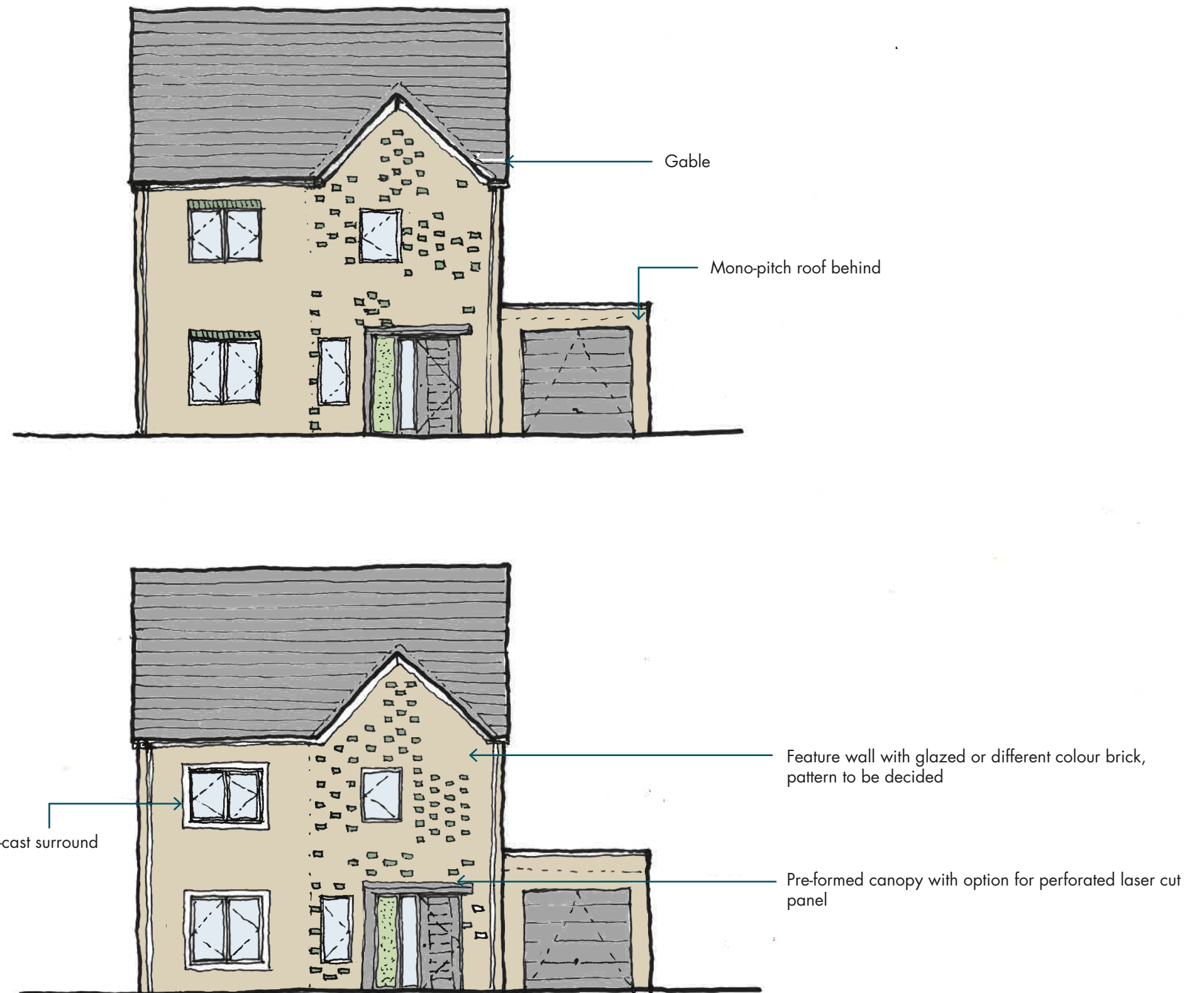
## 8.22 Example House C

### Character Area Two





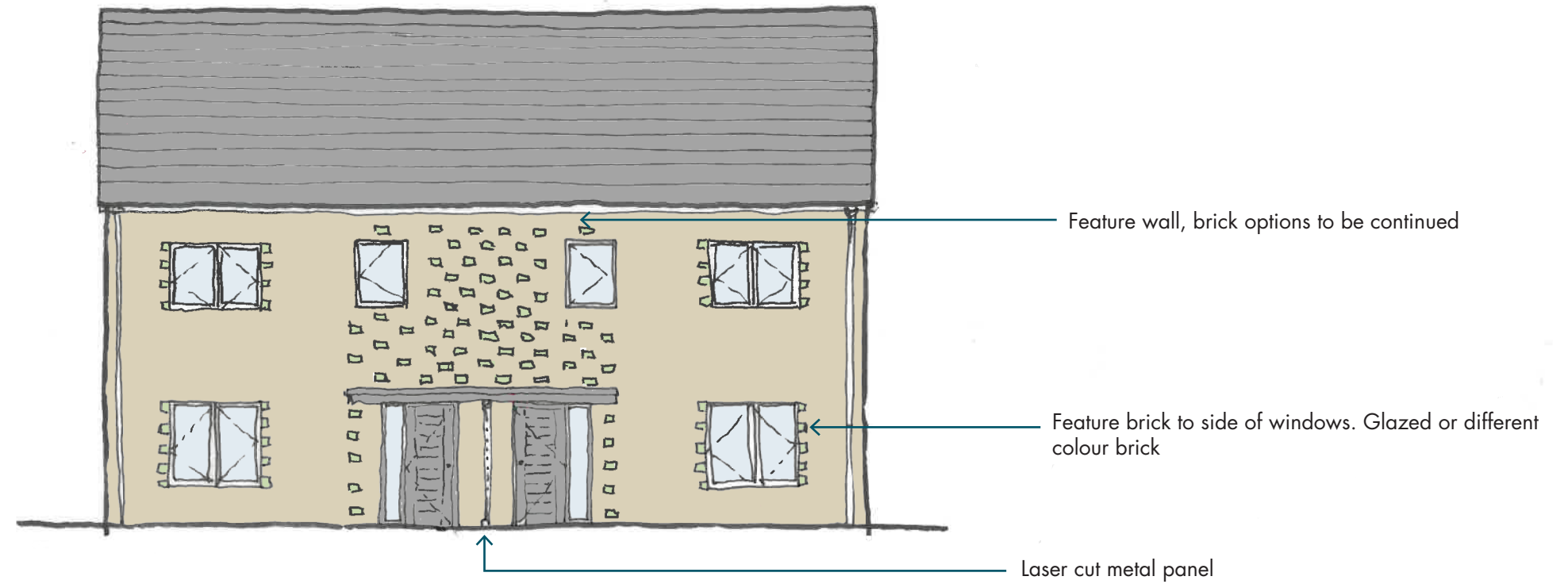
## 8.23 Example House D Character Area One





## 8.24 Example House E

### Character Area Two





## 8.25 Example House F

### Character Area Three





## **9 Proposed Landscape Strategy**



## 9.1 Landscape Context

### Social & Cultural

Understanding the social and cultural context at Penrhys is crucial for the successful re-design of the landscape.

While Penrhys began life as a forwards-thinking new village, since 1969 there have been some difficult times. Soaring energy bills, a declining population, poor services and anti-social behaviour have all left their mark. Yet the community remain proud of their hilltop village. There is a powerful sense of what is special about Penrhys, and why people want to live there.

From a landscape perspective, there are several lessons to learn from the original development. They include:

Penrhys was designed in the 60s when the car was king. There are few pavements and many steps, making it hard to get around, particularly if you are using wheels. This has meant older people and people with disabilities have had to move away.

While the early photographs of the village show areas of green space, they appear to be barren grass expanses, without any defined uses. There are almost no trees. You can see desire lines worn through the grass, pointing to a lack of paved connections.

Other photographs show there were some play areas, but these are hard spaces, with little nature or green.

Views don't appear to have been motivating factor.



Figure 101



# 9.2 Community Engagement

Within the community engagements we discussed: What works, what doesn't; The Penrhys community; Wildlife on site; Transport/Access; What you want to see in your green spaces; Where things might go - the school, the church, the parks and the shop.

## Safe and secure

- People drive around the ring road at speed
- Boredom can lead to anti-social behaviour
- Scrambling/ off-road e-bikes are being used across the estate



## Better parks and play

- Create a central 'calon' park space which welcomes all
- Multiple age-appropriate play spaces are needed
- Green spaces are not always accessible due to the hill
- There are no playing fields
- Gardens are very small
- Look after existing wildlife on site



## Improve access

- Create a central 'calon' park space which welcomes all
- Multiple age-appropriate play spaces are needed
- Green spaces are not always accessible due to the hill
- There are no playing fields
- Gardens are very small
- Look after existing wildlife on site



## Celebrate community

- The strength of the community is a source of pride
- Penrhys is a community that is welcoming to newcomers
- There is pride in the landscape, the views and setting
- People would like streets where its safe for children to play



Figure 102



## 9.3 Landscape Concept

### Character Inspiration

'Fridd' a biodiverse mosaic of habitats, with scattered trees, bracken, rocky outcrops, bog, streams, grassland, gorse and scrub.

The landscape design will draw heavily on mountain flora - or local 'Fridd' habitat, welcoming elements of it into the heart of the new village.

Penrhys also offers extraordinary, expansive views - and the new village will offer plenty of opportunities to enjoy them.

The strong community will also continue to have a strong 'presence' in the landscape - with space created for people to meet, socialise and exercise outside



Figure 103



Figure 104



Figure 105



Figure 106

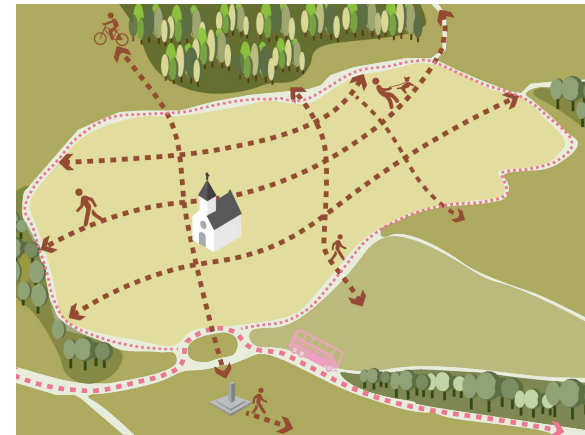


Figure 107



## 9.4 Landscape Concept Principles

Building on the community priorities and the inspiring local landscape, a series of principles will guide the landscape design.



### Well connected

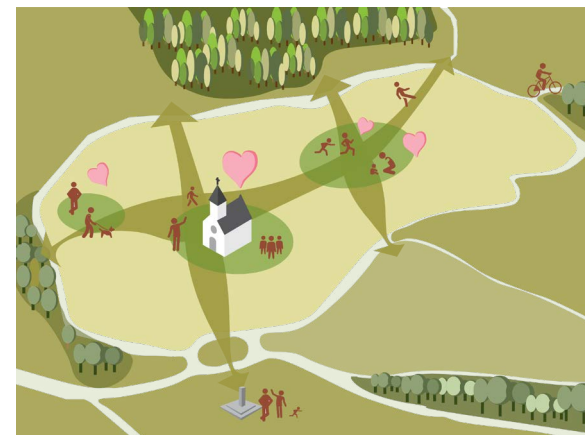
The new village will be built around safe, clear connections which put people first.

Accessibility will be improved wherever possible. Better connections will be created to wider walking routes, encouraging an active lifestyle.



**Pride in Penrhys** The Penrhys community is strong.

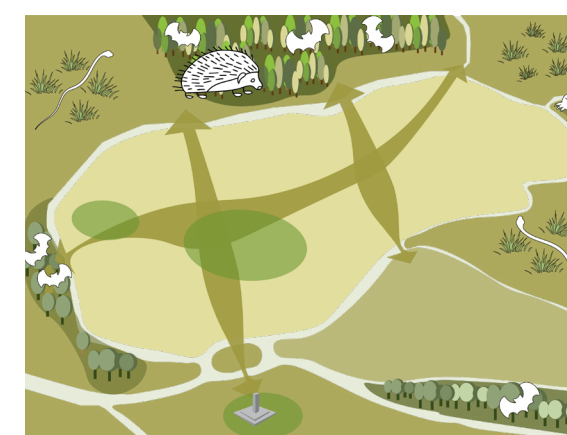
We will work with the community to create a landscape of which everyone can feel proud - and which invites new community bonds to form.



### Sociable & safe

The church and its hall will continue to offer a hub for the Penrhys community.

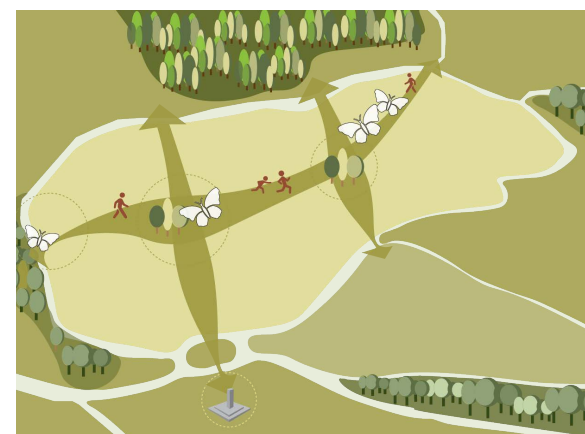
We will also create a network of new, safe, overlooked outdoor spaces to offer opportunities to meet, socialise and play outside.



### Wilder edges

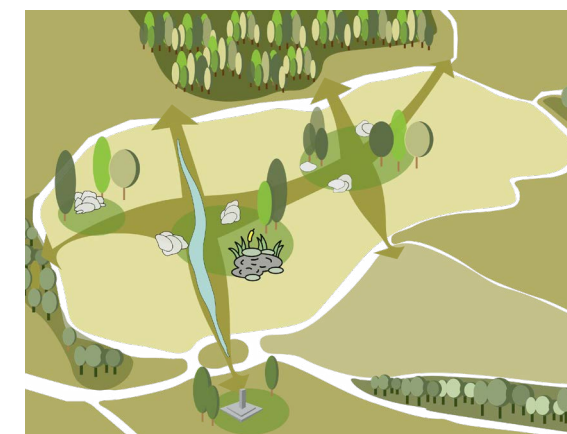
High quality habitats can be found around the edges of the site, including several Sites of Importance for Nature Conservation.

There is potential to improve some areas as part of the biodiversity net positive strategy. Some may also play host to translocated species.



### Rooted in the Rhondda

We will celebrate the local landscape with green corridors which welcome wildlife through the village, and draw the local landscape character in.



### A patchwork of diversity

The new landscape will offer a biodiverse mosaic of habitats across the site.

We will echo (but not replicate) the 'Ffridd' habitat found near the boundary of the site.



## 9.5 Landscape Concept

### Green infrastructure - wider context

Phase 1A ties into a wider green infrastructure strategy for the whole village.

Across the new village we will create and support a mosaic of habitats - inspired by 'Ffridd', a biodiverse habitat found nearby. Green corridors running from east - west and north - south will play a key role in ensuring the site remains welcoming to wildlife. Beyond the ring road, improvements to existing habitats will help mitigate the unavoidable impact on wildlife within.

We will be work closely with the ecologist towards Net Benefit for Biodiversity - exploring the best ways to support the existing wildlife on site, while also increasing the density.

Existing trees will be retained wherever possible, but the changing levels will require mitigation (at 3:1).



#### Key greenways

Create green connections through the site - for people and wildlife, linking through to the SINC's which surround the site.



#### Minor greenways

Secondary green links for people and/ or wildlife.



#### Wild edges

Where possible we will offer biodiverse buffers to the development - whether for grassland, tree planting, translocation or habitat improvement.



#### A network of green spaces

A variety of spaces where people can connect with nature. Where possible, each space will introduce a new habitat.



#### SuDS feature

The streets have been designed with space for rain gardens or swales. Long, thin basins will follow the topography - and some will be designed to retain some water for new habitat.





## 9.6 Landscape Design

### Phase 1A Masterplan

The sites constraints and challenges are met with design solutions that propose a unique, functional and attractive landscape.

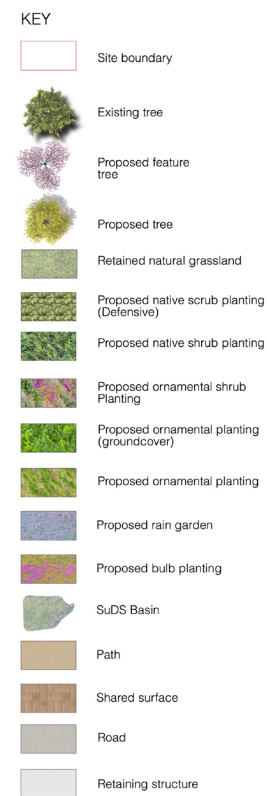
The central 'Greenway' is the multi-functional landscape core of the site. High quality amenity spaces are woven into the hillside with balanced habitat creation, seasonal planting and sustainable urban drainage systems (SuDS).

The changes in levels and elevations are utilized to create functional spaces with Gabion retaining structures integrating seating, planting, play and habitats. Platforms coordinated with tree planting to create framed views across the hills.

In the middle of the Greenway a shallow SuDS basin with gentle banks is partially utilized to allow for a full Locally Equiped Area for Play (LEAP), with a 20m buffer from habitable room facades.

There is only one short ramp in the entire scheme, all the other paths are at least 1:21 gradient allowing for full and easy accessibility.

The planting strategy draws heavily on the sites native ecology and Fridd landscape, with large areas of to be left to naturally cultivate. Trees are carefully selected to thrive in the environment and other plants are selected survive and with regards to amenity with seasonal interest and function; rain garden, defense, habitat.





## 9.7 Landscape Design Precedents



Figure 108

More accessible

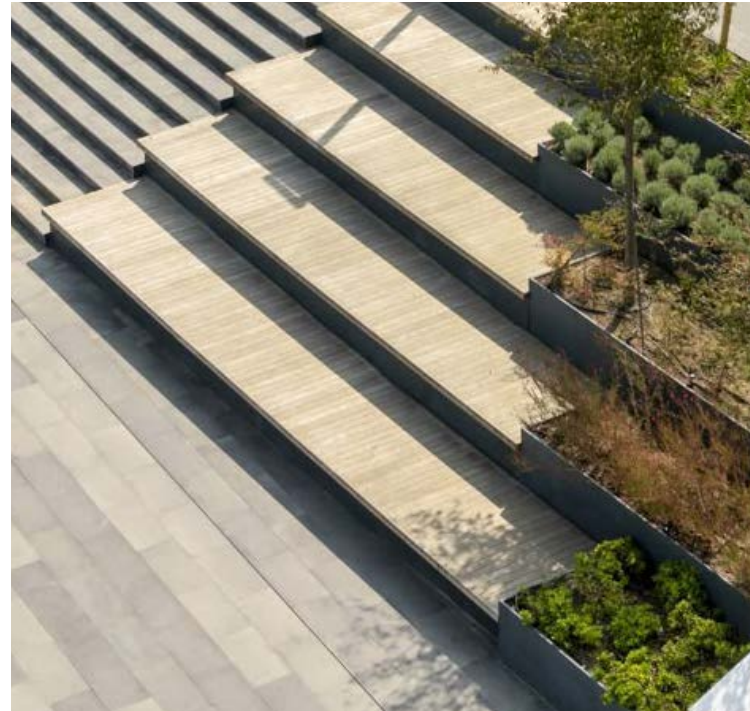


Figure 109

Sociable moments



Figure 110

Homes overlooking



Figure 111

Places to pause



Figure 112

Retaining walls



Figure 113

Playing with the levels



Figure 114

Local materials



## 9.8 Landscape Design

### Phase 1A Greenway

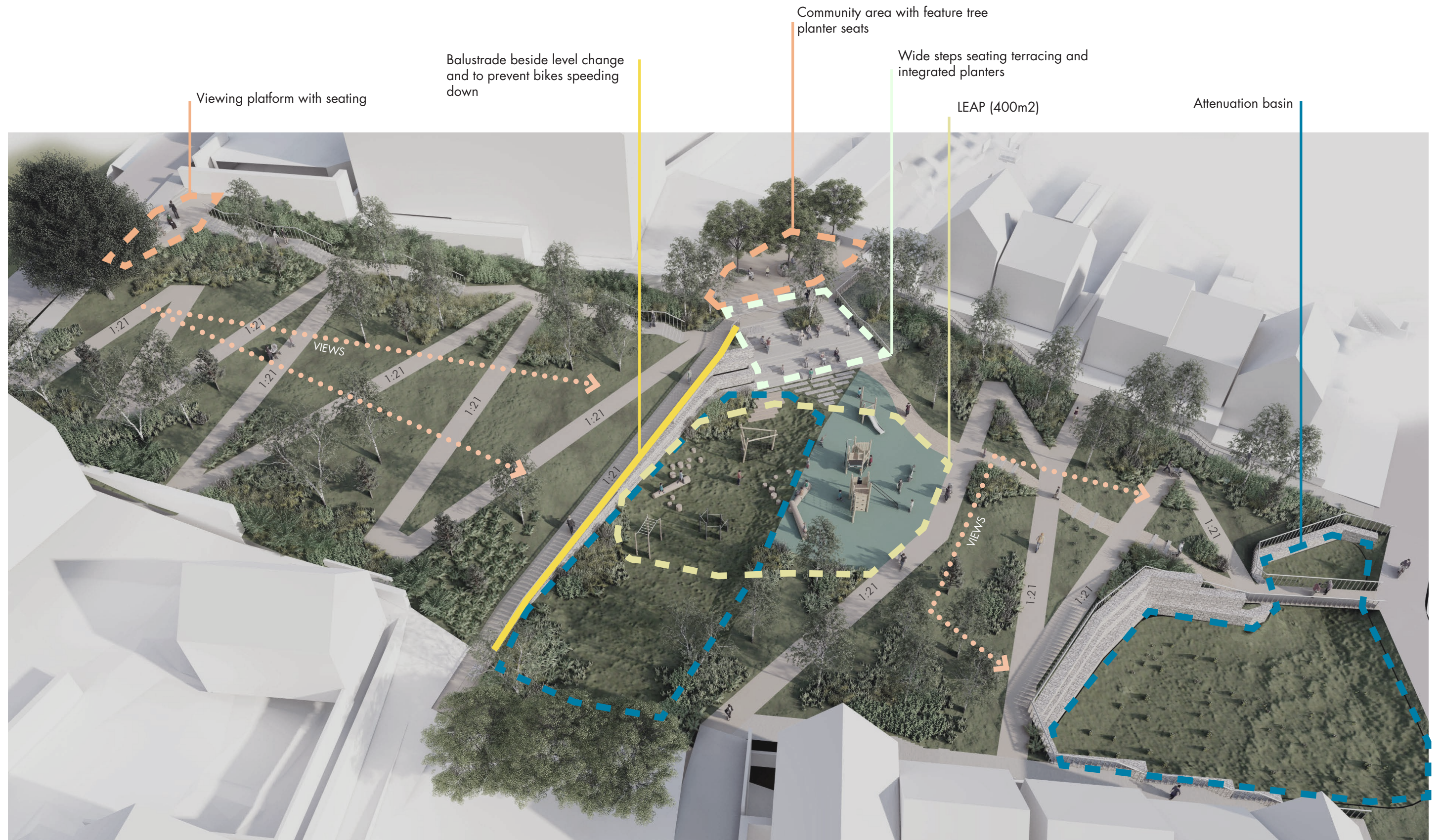
Existing residents have emphasised the importance of creating safe, accessible paths, a range of play spaces, and plenty of seating options.





## 9.9 Landscape Design

### Phase 1A Greenway





## 9.10 Landscape Design

### Phase 1A Greenway

The Fridd styled landscape is fully accessible with gently sloped paths. Diverse native planting with visually permeable tree species allows immersion in planting whilst maintaining sightlines.





## 9.11 Landscape Design

### Phase 1A Greenway - LEAP

Changes on level are utilised to become features of the site with planted seating terraces overlooking the playground and with far reaching views.





## 9.12 Landscape Design

### Phase 1A Greenway - Section





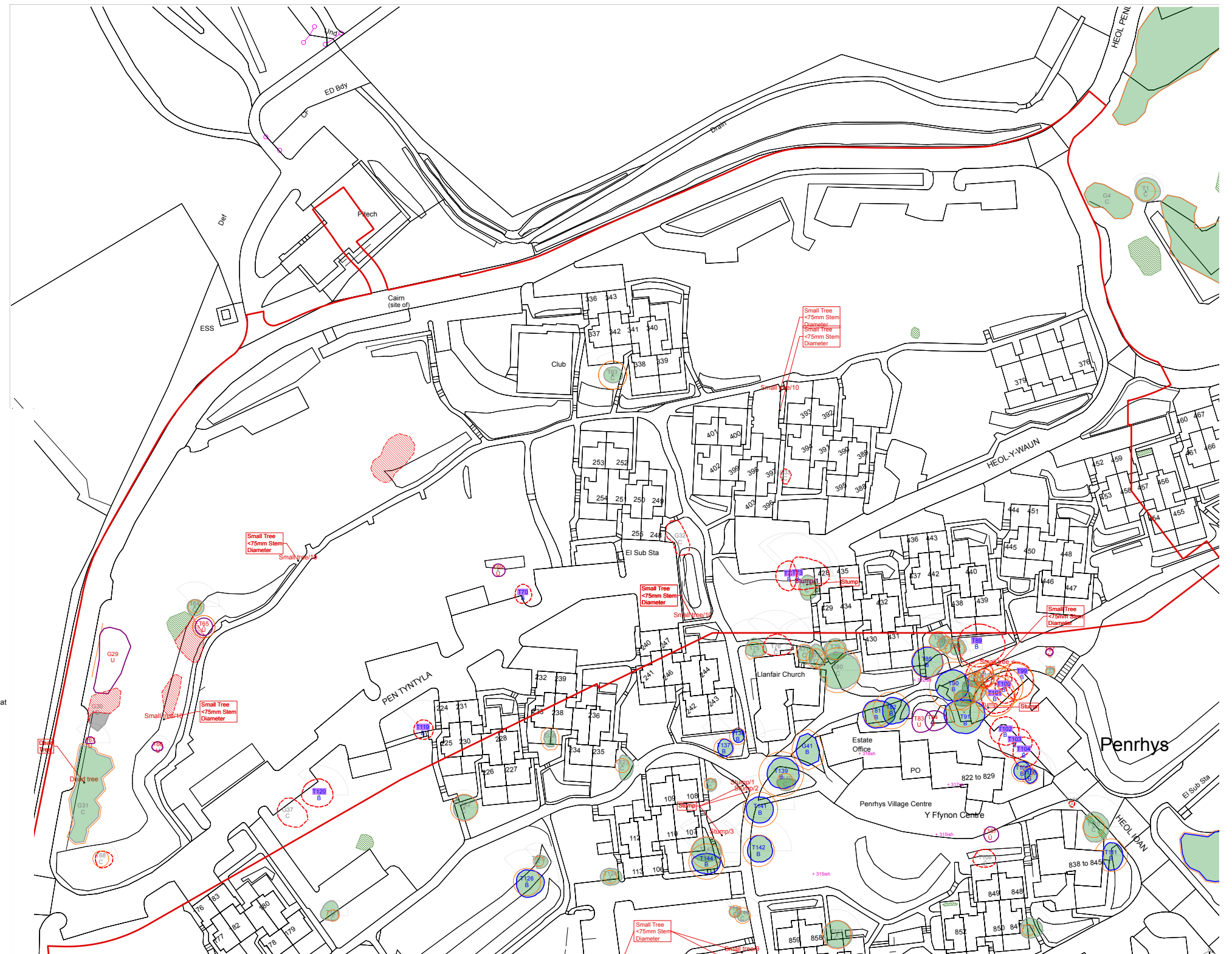
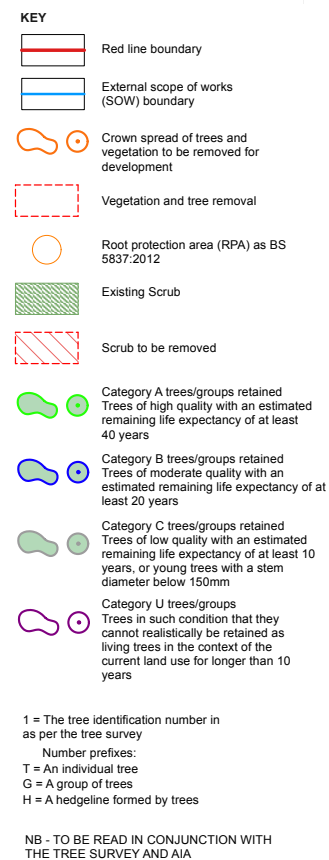
## 9.13 Landscape Strategies

### Tree Strategy - Retention and Removal

The tree strategy will draw on Penrhys' unique situation.

The hillside location ensures that the existing trees on site are usually species which flourish in tough conditions.

New trees will be chosen to deal with extreme weather and wind conditions. Generally trees will be native - with species chosen that thrive in the Rhondda's ecosystem. They include local sessile oak, rowan, downy birch and hazel.





## 9.14 Landscape Strategies

### Tree Strategy

The tree strategy will draw on Penrhys' unique situation.

The hillside location ensures that the existing trees on site are usually species which flourish in tough conditions.

New trees will be chosen to deal with extreme weather and wind conditions. Generally trees will be native - with species chosen that thrive in the Rhondda's ecosystem. They include local sessile oak, rowan, downy birch and hazel. However there are some areas of the new village - including the central 'Greenway' space and raingardens some non-native by hardy species will be utilised due to their amenity value and ability to withstand the dry/ wet conditions of the raingardens.

- |   |   |
|---|---|
| <span style="color: red;">●</span> <b>Sorbus aucuparia</b>                    | <span style="color: yellow;">●</span> <b>Betula pubescens</b> |
| <span style="color: green;">●</span> <b>Betula pendula</b>                    | <span style="color: red;">●</span> <b>Quercus petraea</b>     |
| <span style="color: orange;">●</span> <b>Acer platanoides</b>                 | <span style="color: darkgreen;">●</span> <b>Pinus nigra</b>   |
| <span style="color: lightgreen;">●</span> <b>Crataegus monogyna 'Stricta'</b> |   |
| <span style="color: purple;">●</span> <b>Populus tremulus</b>                 |   |





## 9.15 Landscape Strategies

### Tree Strategy - Street/scattered Trees

Medium to large-sized trees will be scattered and planted in groups of two or three around the site in amenity open spaces and communal areas. This will enhance the site's visual interest and biodiversity. In a more formal setting, small to medium-sized trees will be planted in row avenues. These will be located along proposed driveways, parking areas, pedestrian paths and front yards.

The proposed trees will reflect species locally found, which are proven to be a good fit for the site's conditions. The canopy coverage will provide shade in the summer and habitat opportunities for birds. It will also maintain or create connectivity (wildlife corridor for birds) between the site's different habitats. The number of the proposed trees will use as a baseline the tree replacement of 1:3, and if possible, exceed it.

#### URBAN TREES



**Sorbus aucuparia**

Figure 115



**Betula pendula**

Figure 116



**Acer platanoides**

Figure 117



**Crataegus monogyna 'Stricta'**

Figure 118

#### SCATTERED TREES



**Betula pubescens**

Figure 119



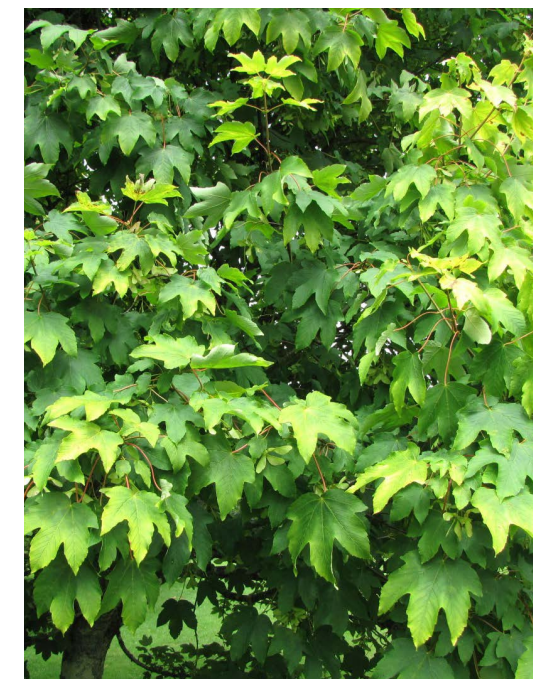
**Pinus nigra**

Figure 120



**Quercus petraea**

Figure 121



**Acer psuedoplatanus**

Figure 122











## 9.16 Landscape Strategies

### Planting Plan

To address the site's high altitude location, in a similar manner to the Trees' strategy, the selected ornamental species will be predominately native to the area and able to withstand strong winds and low temperatures. These include species already present in the site such as wild daffodil and perforate St John's-wort while introducing new ones such as rock stonecrop and hard shield fern.

Different planting typologies create interest and hierarchy in the site while different canopy heights create privacy for houses and visual permeability in open spaces.

-  Site boundary
-  Existing tree
-  Proposed tree
-  Retaining structure
-  Native scrub mix (defensive) 1 - NSMD1
-  Native shrub mix 1 - NSM1
-  Ornamental shrub mix 1 - OSM1
-  Ornamental shrub mix 2 - OSM2
-  Bulb mix - BM1
-  Ornamental planting mix 1 (groundcover) - OM1
-  Ornamental planting mix 2 - OM2
-  Rain garden mix - RGM1
-  SuDS basin turf seed mix 1 - SBM1
-  \*Wet/marshy grassland to colonise naturally from local topsoil
-  Amenity grass - GM1
-  \*Indicating area of local topsoil to be left to cultivate naturally





## 9.17 Landscape Strategies

### Planting Strategy - Ornamental, Ground Cover & Shrub Planting in Public Areas and Front Gardens

In the site's central 'Greenway' area, amenity planting will be used on the banks of the slope to create visual interest along the path while inviting visitors to "wander around" and discover the space. Additionally, it will also frame front gardens and parking areas.

To withstand the site's conditions, the proposed ornamental planting will be cold-tolerant, with acidic/ neutral soil needs that require minimal maintenance. Furthermore, the selected species will consist of hardy shrubs/ perennials that reflect the area's characteristic ecological make-up, as well as providing a biodiverse habitat for invertebrates and pollinators.

#### ORNAMENTAL PLANTING



**Narcissus pseudonarcissus** Figure 123



**Polystichum aculeatum** Figure 124



**Geranium macrorrhizum** Figure 125

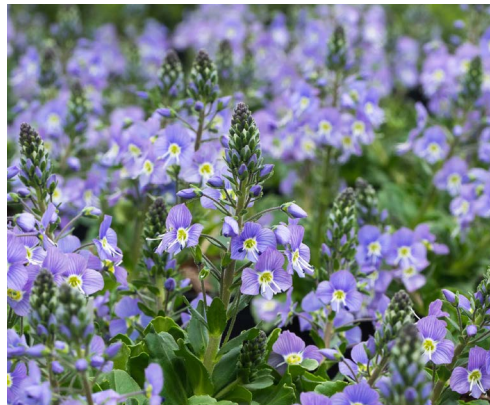


**Hyacinthoides non-scripta** Figure 126

#### GROUND COVER



**Petrosedum forsterianum** Figure 127



**Veronica gentianoides 'Mountain Breeze'** Figure 128



**Hedera helix 'Parsley Crested'** Figure 129



**Arctostaphylos uva-ursi** Figure 130

#### ORNAMENTAL SHRUBS



**Hypericum perforatum** Figure 131



**Juniperus communis** Figure 132



**Genista tinctoria** Figure 133



**Ilex x altaclerensis 'Golden King'** Figure 134



## 9.18 Landscape Strategies

### Planting Strategy - Native Defensible Scrub and Shrub Planting

Defensible scrub and shrub planting of native species have been utilised in main green corridor areas, particularly in the central ramp/ open space area. The sloped grasslands are framed by lower and softer shrubby canopies that gradually turn into more scrubby and taller vegetation. Furthermore, this will create a green barrier to the adjacent housing units providing privacy.

The species utilised are native and found locally. They will create habitat for nesting birds and hedgehogs.

#### NATIVE SHRUB PLANTING



**Prunus spinosa**

Figure 135



**Rosa canina**

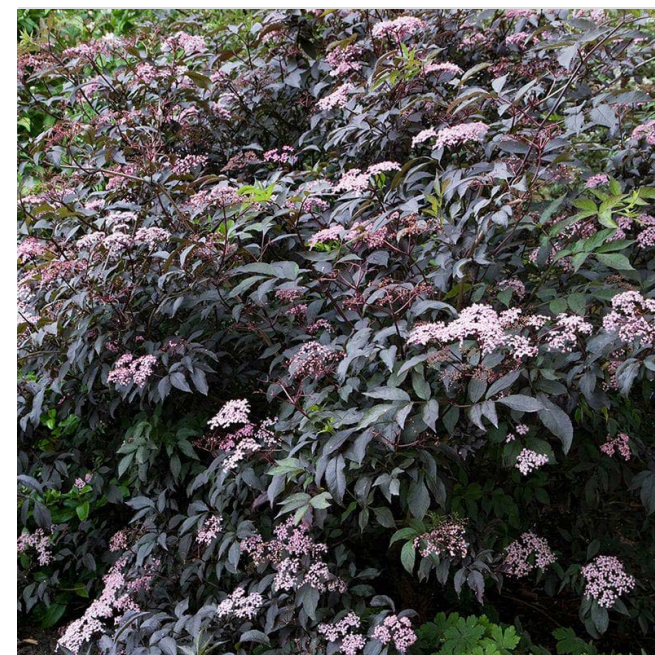
Figure 136



**Crataegus monogyna**

Figure 137

#### NATIVE SCRUB PLANTING



**Sambucus nigra**

Figure 138



**Corylus avellana**

Figure 139



**Viburnum opulus**

Figure 140



## 9.19 Landscape Strategies

### Planting Strategy - Grassland

In the wider areas of open space in the periphery of the site as well as in the central sloped walk, native species-rich amenity grass mixes with wildflowers will be implemented. This will enhance and complement the biodiversity of the site's existing grasslands. In areas with increased foot traffic near formal paths and sidewalks, grass will be kept low-cut with hardy grass species, while in the outer and less disturbed/ steep areas and edges, infrequently cut grass mixes will be sown with native wildflowers.



**NL2 Fine Lawn Mixture by Naturescape** Figure 141



**or NL3 Intermediate Lawn Mixture by Naturescape** Figure 142



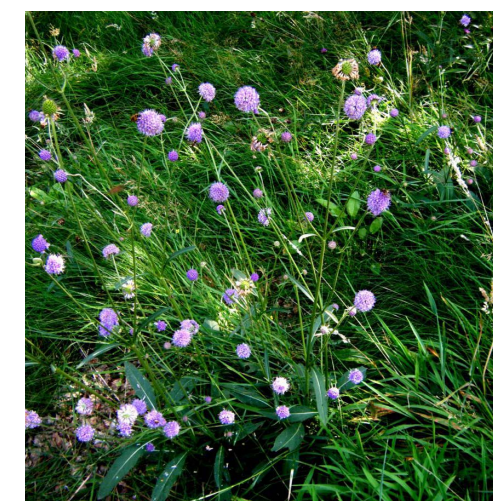
**N14 Flowering Lawn Mixture (80% Grasses to 20% Wildflowers) by Naturescape** Figure 143



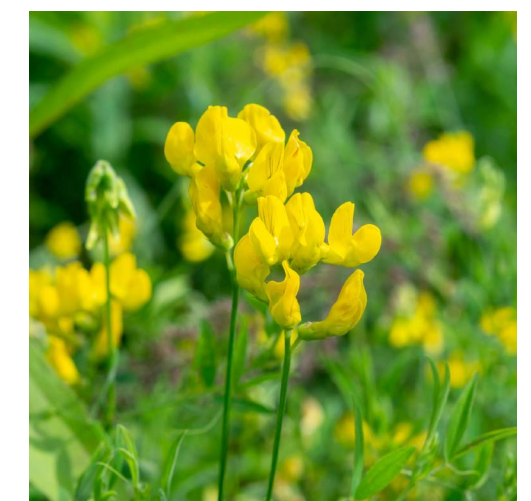
**Agrostis capillaris** Figure 144



**Festuca rubra ssp. commutata** Figure 145



**Succisa pratensis** Figure 146



**Lathyrus pratensis** Figure 147



## 9.20 Landscape Strategies

### Planting Strategy - SuDS / Raingardens

In the rain gardens, a mixture of ornamental shrubs, grasses and perennials will be utilised. Due to the nature of bio-retention, the selected plants need to be drought-tolerant but also resilient to occasional wet conditions. The planting will provide a variety of pollinating species for bees and other insects.

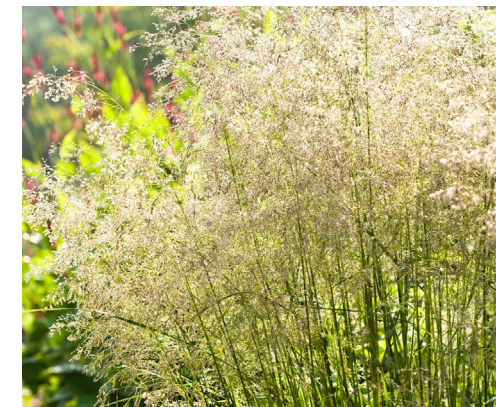
SUN - PARTIAL SHADE



**Angelica sylvestris**  
**'Vicar's Mead'** Figure 148



**Bergenia cordifolia** Figure 149



**Deschampsia cespitosa** Figure 150



**Filipendula ulmaria** Figure 151

SHADY - PARTIAL SHADE



**Asplenium scolopendrium** Figure 152



**Cardamine pratensis** Figure 153



**Dryopteris filix-mas** Figure 154



**Melica uniflora f. albida** Figure 155



## 9.21 Landscape Strategies

### Planting Strategy - SuDS Basin Meadow

The proposed attenuation basins will be sown with an appropriate native wildflower mix for wetland soil, which consists mostly of grass species and some annual and perennial wildflowers. Wildflowers will be blooming from May until September.



**British Native Meadow Wildflower Seed Mix For Wetland Soil (80% Meadow grasses/ 20% Wildflowers) by Meadowmania**

*Figure 156*



**Trisetum flavescens**

*Figure 157*



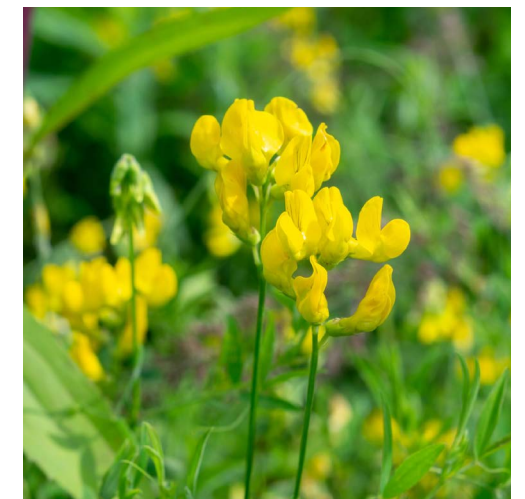
**Leucanthemum vulgare**

*Figure 158*



**Galium mollugo**

*Figure 159*



**Lathyrus pratensis**

*Figure 160*











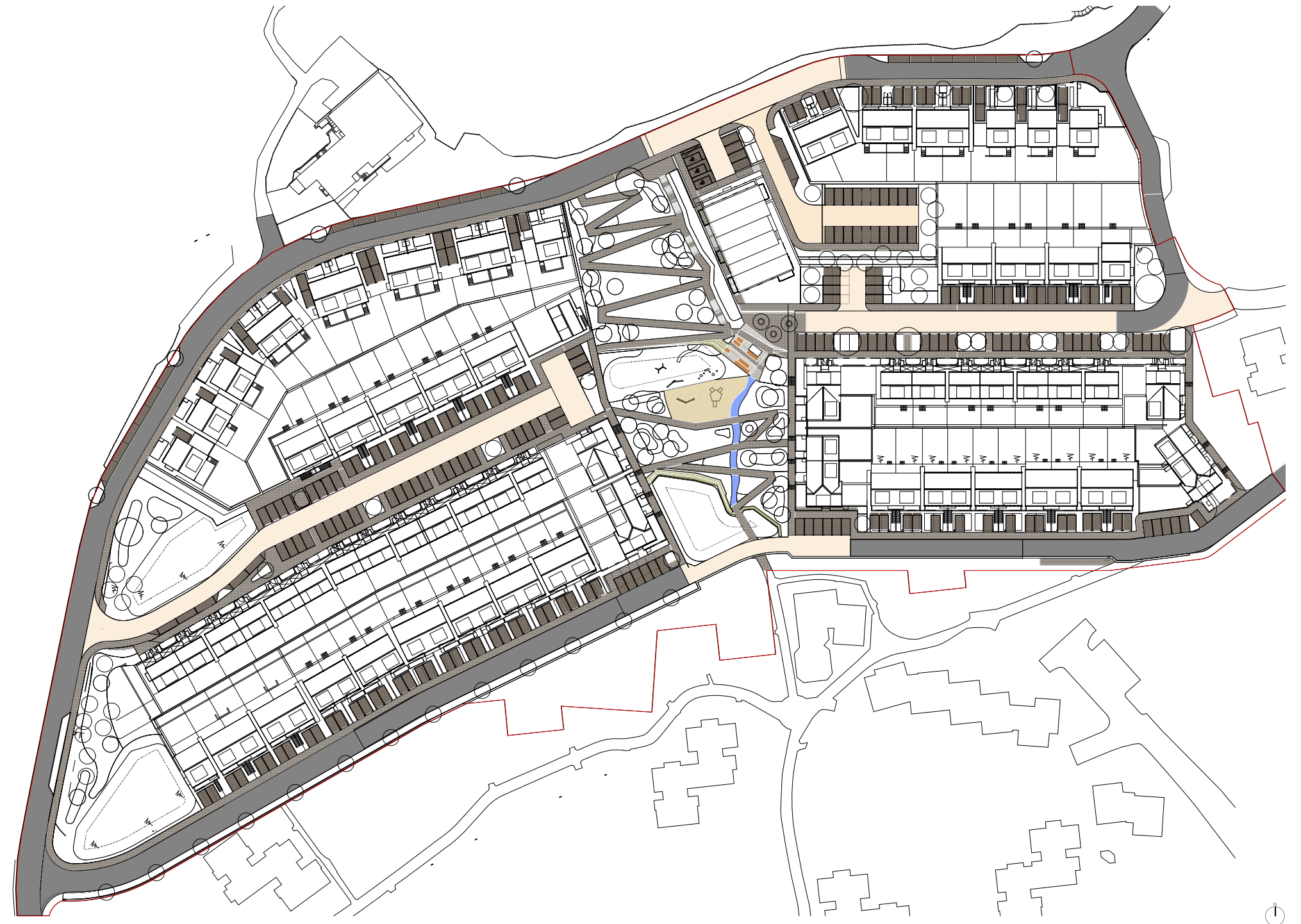
## 9.22 Landscape Strategies

### Hardworks Strategy

The hardscape surfacing strategy consists of a limited and harmonious set of materials contributing to place making character and providing robust functionality.

#### KEY

-  Site boundary
-  Path
-  Secondary path
-  Shared surface
-  Play surface
-  Play equipment
-  Gabions
-  Road
-  Parking bays
-  Retaining structure





## 9.23 Landscape Strategies

### Hardworks Strategy - Surface materials

#### Paving and Surfaces

The paving and hard surface strategy utilizes a palette of hard wearing and harmoniously coloured materials of natural hues and textures to integrate well with the developments natural surrounds. Porous light buff coloured macadam and natural hued paving contrasts gently with the Macadam vehicular road surfaces.

1. Porous coloured Tarmac to shared surfaces and raised table crossings.

Colour: Light Buff.

Manufacturer: Ulticolour

2. Block paving to pavements

Colour: Natural.

Manufacturer: Marshalls

3. Macadam for roads

Colour: Black

4. Driveline Piora Block paving to Parking spaces.

Colour: Bracken.

Manufacturer: Marshalls

#### Kerbs

Robust and natural appearance kerb to compliment the natural hues of the surface materials.

1. Corkeen safety surface to Play areas.

Material: Cork.

Manufacturer: Corkeen

2. GeoCell

Colour: -N/a

Manufacturer: -TBA

3. Eco countryside kerb (65% recycled)

Manufacturer: Holcim



Figure 161

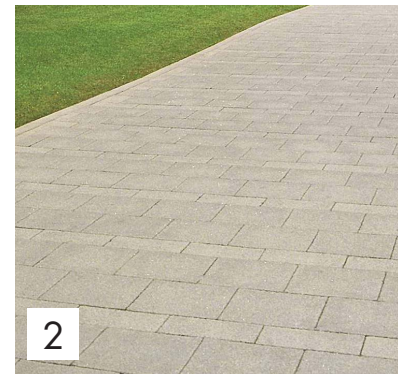


Figure 162



Figure 163



Figure 164



Figure 165



Figure 166



Figure 167



## 9.24 Landscape Strategies

### Hardworks Strategy - Furniture

#### Seating

Responding to the community wishes, lots of seating is provided for. Seating will be integrated into the retaining structures and steps with along with quality benches and seats specified.

1. Product name: TORD Wall Seat

Dimensions: 2300mm x 585mm x 595mm

Manufacture: Factory Furniture or similar

2. Product name: Fortis Modular Wall-Top Seating

Dimensions: 2540mm x 590mm

Manufacture: Furnitubes

3. Product name: SOCA Bench

Dimensions: 3000mm x 610mm x 485mm

Manufacture: Factory Furniture

4. Product name: Solid Peano Benches

Dimensions: 2190mm x 460mm x 470mm

Manufacture: StreetLife

5. Product name: BLOCK Table & Chair Set

Dimensions:

Manufacture: Vestre



Figure 168



Figure 169



Figure 170



Figure 171



Figure 172



## 9.25 Landscape Strategies

### Play Strategy - Play Equipment

#### Play

A variety of formal and informal play equipment to satisfy LEAP requirements

1. Product name: Embankment tube slide

Dimensions:

Manufacture: Kompan or similar

2. Product name: Trim trail combo no.2

Dimensions:

Manufacture: Duncan & Grove or similar

3. Product name: Tarzan climber

Dimensions:

Manufacture: Kompan or similar

5. Product name: Bug springer

Dimensions:

Manufacture: Kompan or similar

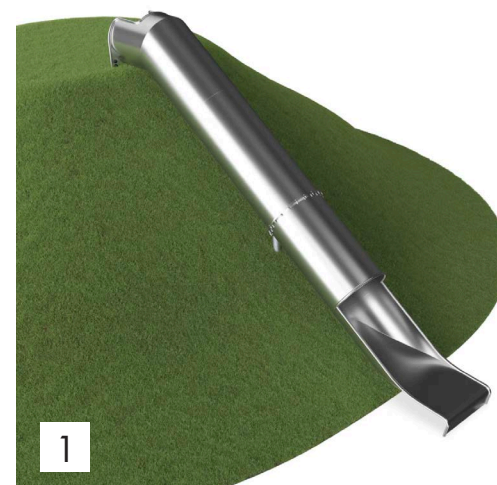


Figure 173

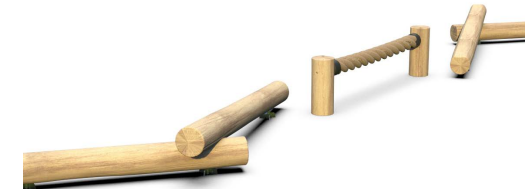


Figure 174



Figure 175



Figure 176



Figure 177



## **10 Proposed Transport Strategy**



Page to be added following the PAC process and prior to the planning submission.



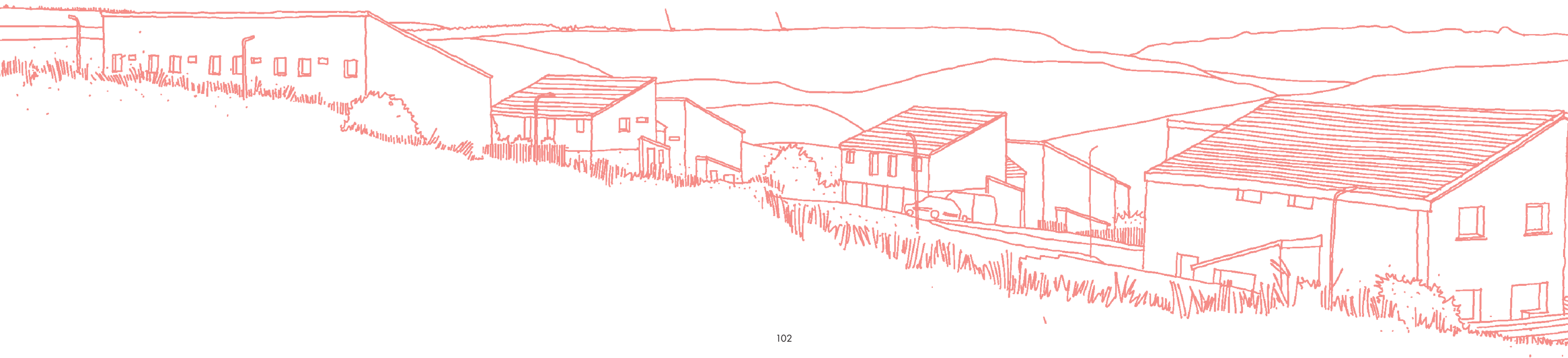
# 11 Summary



## 11.1 Summary

In summary the proposal is for circa 121 homes, which is for the partial redevelopment of the Penrhys estate. The proposal has been developed with input from not only the consultant team but also the wider community of Penrhys.

The proposal seeks to create a design which creates a strong sense of character and place while delivering positive contributions to both the community and nature.





# 12 Appendices



12.1 SOA

The SOA supplied should be read in conjunction with our drawing information pack.

Phase 1A			Proposed Quantum			Totals
Size	Dwelling Type	Type	Mix Preference - 25.06.25			
			Affordable	Market	Total	
1B2P	Flat	1A	10	0	10	20
1B2P Accessible	Flat	1B	3	0	3	
2B3P	Flat	1C	3	0	3	
2B3P Level Access	Flat	1D	4	0	4	
2B4P	House (Narrow-fronted)	2A	0	0	0	8
2B4P	House (Wide-fronted)	2B	1	0	1	
2B4P	House (Wide-fronted & Upside-down)	2C	5	0	5	
2B4P	House (Narrow-fronted & raised with stepped access)	2D	2	0	2	
3B4P	House	3A	0	8	8	14
3B4P	House (Split-Slab)	3B	0	2	2	
3B4P	House (Raised with stepped access)	3C	0	4	4	
3B5P	House (Narrow-fronted)	4A	9	2	11	
3B5P	House (Narrow-fronted & Split-Slab)	4B	0	4	4	52
3B5P	House (Narrow-fronted & Integrated Garage)	4C	0	16	16	
3B5P	House (Narrow-fronted & raised with stepped access)	4D	0	0	0	
3B5P	House (Wide-fronted)	4E	2	1	3	
3B5P	House (Wide-fronted & Upside-down)	4F	2	13	15	
3B5P	House (Wide-fronted & Upside-down side access)	4G	3	0	3	
3B5P	House (Wide-fronted & Upside-down + Narrow-fronted)	4H	These two house types includes various Type 4's merged together. Quantum of these is taken into account within the above figures.			
3B5P	House (Wide-fronted + Narrow-fronted)	4I				
4B6P	House	5A	6	2	8	18
4B6P	House (Split-Slab)	5B	0	2	2	
4B6P	House (Integrated Garage)	5C	0	8	8	
4B6P	House (with Raised Access)	5D	0	0	0	
4B7P	House	6A	0	5	5	9
4B7P	House (Split-Slab)	6B	0	2	2	
4B7P	House (Integrated Garage)	6C	0	2	2	
			50	71	121	
			Houses Total		101	
			Apartments Total		20	
			Percentage of Affordable		41.32	
			Percentage of Market		58.68	



## 12.2 Figure List

Below is the figure list from the document.

### FIGURES

Figure 1 – Credit: Stride Treglown (2024).

Figure 2-17 – Credit: Images issued by The Urbanists. Contact The Urbanists for reference information.

Figure 18-19 – Credit: Google Earth satellite image underlay.

Figure 20-34 – Credit: Stride Treglown (2024).

Figure 35 - Credit: Google Earth satellite image underlay.

Figure 36-40 – Credit: Images issued by The Urbanists. Contact The Urbanists for reference information.

Figure 41-44 – Credit: Images issued by Trivallis. Contact Trivallis for reference information.

Figure 45-49 – Credit: Stride Treglown (2024).

Figure 50 – Credit: Images issued by Trivallis. Contact Trivallis for reference information.

Figure 51-66 – Credit: Stride Treglown (2024).

Figure 67-78 – Credit: Google Earth satellite image underlay.

Figure 78 - 79 - Credit: Pinterest (Individual image links can be provided upon request).

Figure 80 - Credit: Google Maps.

Figure 81 - 100 - Credit: Pinterest (Individual image links can be provided upon request).

Figure 101 - 177 - Credit: Images provided by The Urbanists.



FILE	
Penrhys Phase 1A Design and Access Statement	
PROJECT	
Penrhys Phase 1A	
CLIENT	
Trivallis	
STRIDE TREGLOWN JOB No.	
156757	
PREPARED BY	CHECKED BY
JG	RB
DATE	REVISION No.
04.09.2025	PL02

REVISION	
1	First issue for PAC submission.
2	Final Issue for PAC Submission
3	X
4	X
5	X
6	X



# STRIDE TREGLOWN

**Robert Bathgate**

+44 (0)117 915 7631  
robertbathgate@stridetreglown.com

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